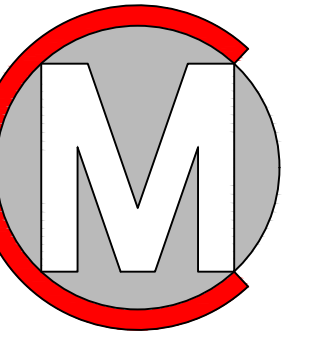


New second floor dormer and front porch and second floor deck

246 Barkley Avenue

246 Barkley Avenue
Clifton, New Jersey



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Applicable Codes

International Building Code-
New Jersey Edition 2021
ADA: ICC/ANSI A117.1-2017
New Jersey Uniform Construction code-
Rehabilitation Subcode Subchapter 6
National Electrical Code 2020
National Standard Plumbing Code 2021
International Energy Conservation Code 2021
International Mechanical Code 2021
International Fuel Gas Code 2021

Design Loads

Roof	30 live	15 dead	45 total
Attic	30 live	15 dead	45 total
Second Floor	40 live	15 dead	45 total
First Floor	40 live	15 dead	55 total

Thermal Performance

Roof R-49
Exterior walls R-19

Wind Loads

Wind Speed = 115 MPH
Wind exposure B

Areas

Existing basement	1,721 S.F.
Existing First Floor	1,721 S.F.
Existing second floor	1,721 S.F.
Area of new dormer	719 S.F.
Area of new 2 story addition	422 S.F.

Volume of new dormer 5,719 cubic feet

IBC Summary

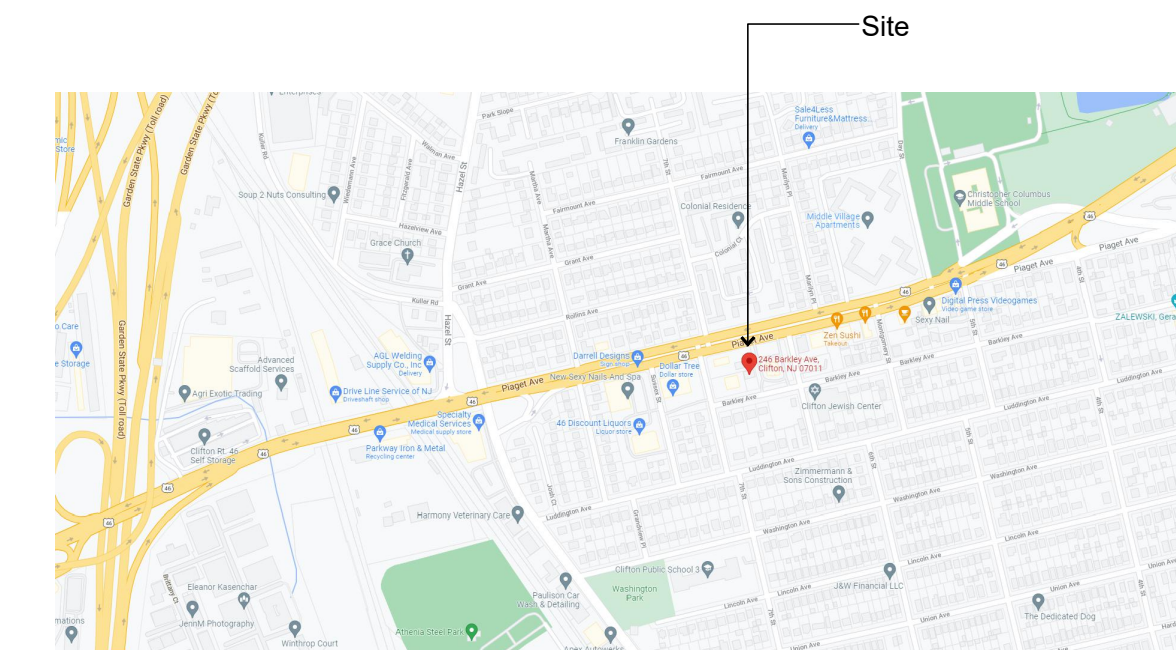
Use Group B - Business
Construction type VB

General Notes

- All work shall conform with the N.J. Uniform construction Code, Latest edition and any other applicable code.
- General contractor shall provide fire stopping at all open soffits and vertical chases. General Contractor shall take care to protect the fire resistance integrity of all structural elements. All voids in floors, walls & ceilings shall be firesafed according to building codes
- All dimensions shown are taken to finished openings unless noted otherwise.
- Contractor shall verify all existing dimensions and conditions prior to starting work. Any discrepancies shall be reported immediately to the owner/Architect.
- All work shall be performed so it will not interfere with normal operations. The contractor shall be responsible for enforcing all owner regulations with employees and subcontractors. The contractor shall take all necessary precautions to protect all people who may be on or near the work area, by maintaining a safe work area, safe working conditions, and limiting access to the work area. Contractor shall designate one of their employees to be primarily responsible for safety on the work site.
- All drawings and specifications shall be considered complementary, all details, elements, structures, etc. shall be assumed to be on all documents even if they are only shown on one document.
- Efforts have been exercised to eliminate interference between and among trades. In spite of this, some interference should be expected. The contractor is responsible for bringing all interference to the attention of the owner's representative for help in resolution. The contractor is responsible for correction of such interference
- To the fullest extent permitted by law, the contractor shall indemnify and hold harmless the owner, architect, architect's consultants, and agents and employees of any of them from and against claims, damages, losses and expenses, including but not limited to attorneys' fees, arising out of or resulting from performance of the work, provided that such claim, damage, loss or expense is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property (other than the work itself) including loss of use resulting therefrom, but only to the extent caused in whole or in part by negligent acts or omissions of the contractor, a subcontractor, anyone directly or indirectly employed by them or anyone for whose acts they may be liable, regardless of whether or not such a claim, damage, loss or expense is caused in part by a party indemnified here under, such obligation shall be construed to negate, abridge, or reduce other rights or obligations of indemnity which would otherwise exist as to a party or person described in this paragraph.
- These drawings shall not be scaled for purposes of construction.
- Contractor shall personally supervise the work, or have a competent supervisor, satisfactory to the owner's representative, present at the work site at all times during the demolition and construction work. Contractor shall provide adequate personnel and organization for the proper coordination and expediting of the work.
- Contractor is fully responsible for his workers' safety, safety equipment, first aid, and emergency handling procedures, owner and architect do not have the responsibility, personnel, or facilities to handle the contractor's safety requirements.
- not used
- All new electrical work shall be in accordance with the National Electric Code, 2020.
- Contractor to verify location of all underground utilities prior to excavation.
- All new finishes (except floor finish / carpet) shall have a class C flame spread rating, flame spread :200 max. typ., Smoke developed rating shall not exceed 450. Provide manuf. cut sheets showing conformance to the above and to ASTM E84 in accordance with the Uniform Construction Code, table 2, 5:23-6.11A. All new carpet is required to be class I or class II as per 2021 New Jersey International building code, section 804.
- Architect is not responsible for the discovery, presence, handling, removal or removal or disposal of, or exposure of persons to hazardous material in any form at the project site, including, but not limited to asbestos, asbestos products, polychlorinated biphenyl(PCB) methane, radon or other toxic substances.
- All interior floor finishes shall be of class I or class II materials and shall be classified in accordance with NFPA 253. Class I shall be .45 watts/cm or greater, Class II shall be .22 watts/cm or greater. Submit cut sheets of all floor finishes for architect's review.
- Use Group B - business

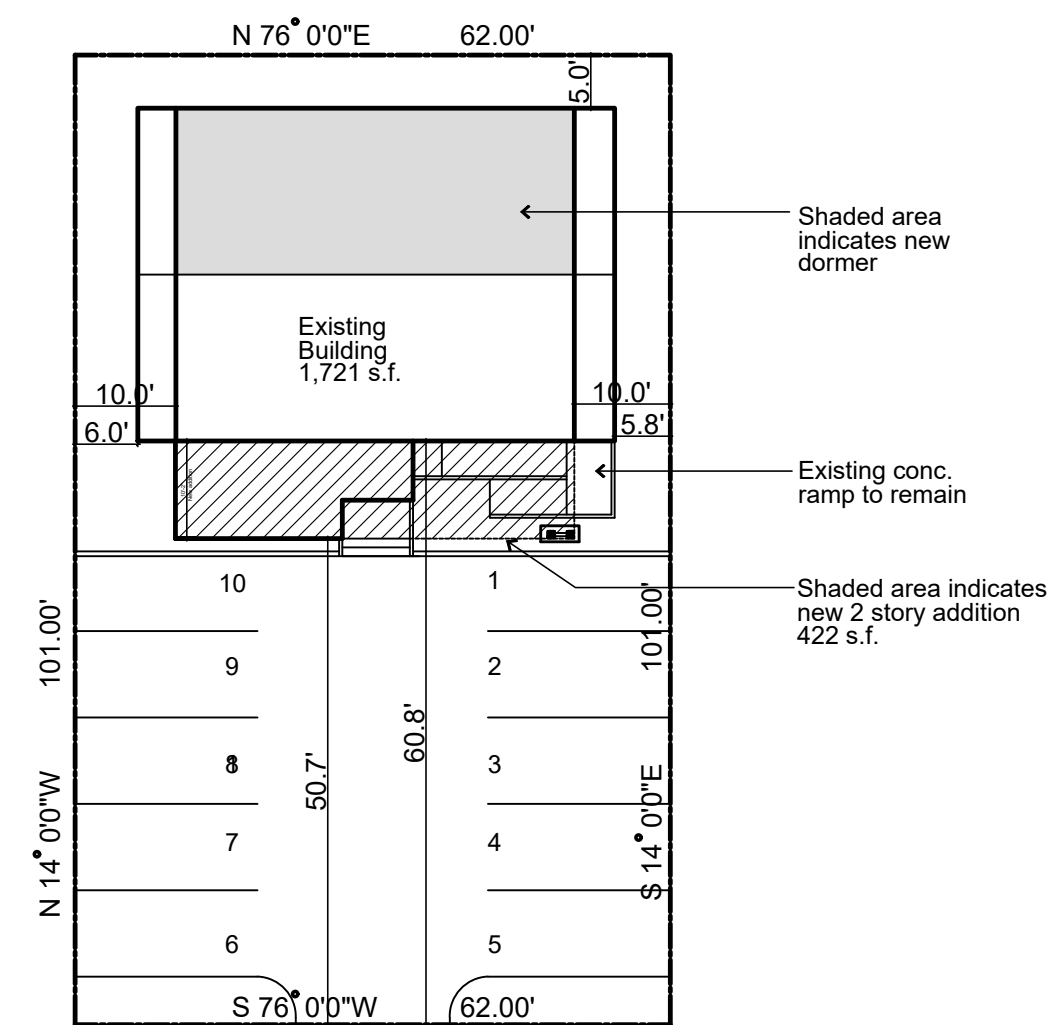
Area	Classification
Exit enclosures and exit passageways	A - Un sprinklered
Corridors	B - Un sprinklered
Rooms and enclosed spaces	C - Un sprinklered

All ratings as per table 803.13 of the International building code 2021, New Jersey Edition.



Project Location Map

Not to scale



Barkley Avenue



Note
This drawing is not a survey. All information was taken from a drawing prepared by Joseph F. Barbieri

Zoning Summary

Zone B-D

	Code	Existing	Provided
Min. Lot Area		† 6,262 S.F.	† 6,262 S.F.
* Front yard setback	60'	60.8'	51.7'
* Rear yard setback	20'	5'	5'
Side yard setback	10' each, 20' both	6' left, 5.8' right	6' left, 5.8' right-10' to new dormer
Max. lot coverage	50%	27%	2,143 / 6,262 = 34%
Max. bldg. height	3 Story, 40'	1 1/2 story, 23'-8"	2 story, 23'-8"

* Indicates variance required

Notes

- Portable fire extinguishers shall be installed in all where required as listed in section 906 of the International building code 2021, New Jersey Edition
- All fire alarms/ devices and fire protection devices/ equipment to remain operational throughout period of construction/demolition.

1	8/8/23	Issued for review
No.	Date	Description

Print Issue

Project,
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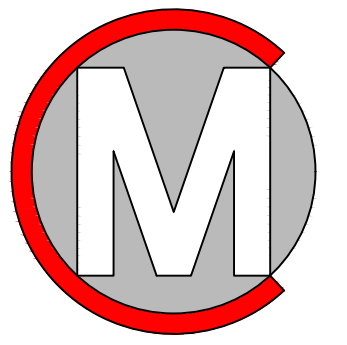
Cover Sheet

Scale as noted
Project No. 23-228
Drawn
MC

A1 of 3

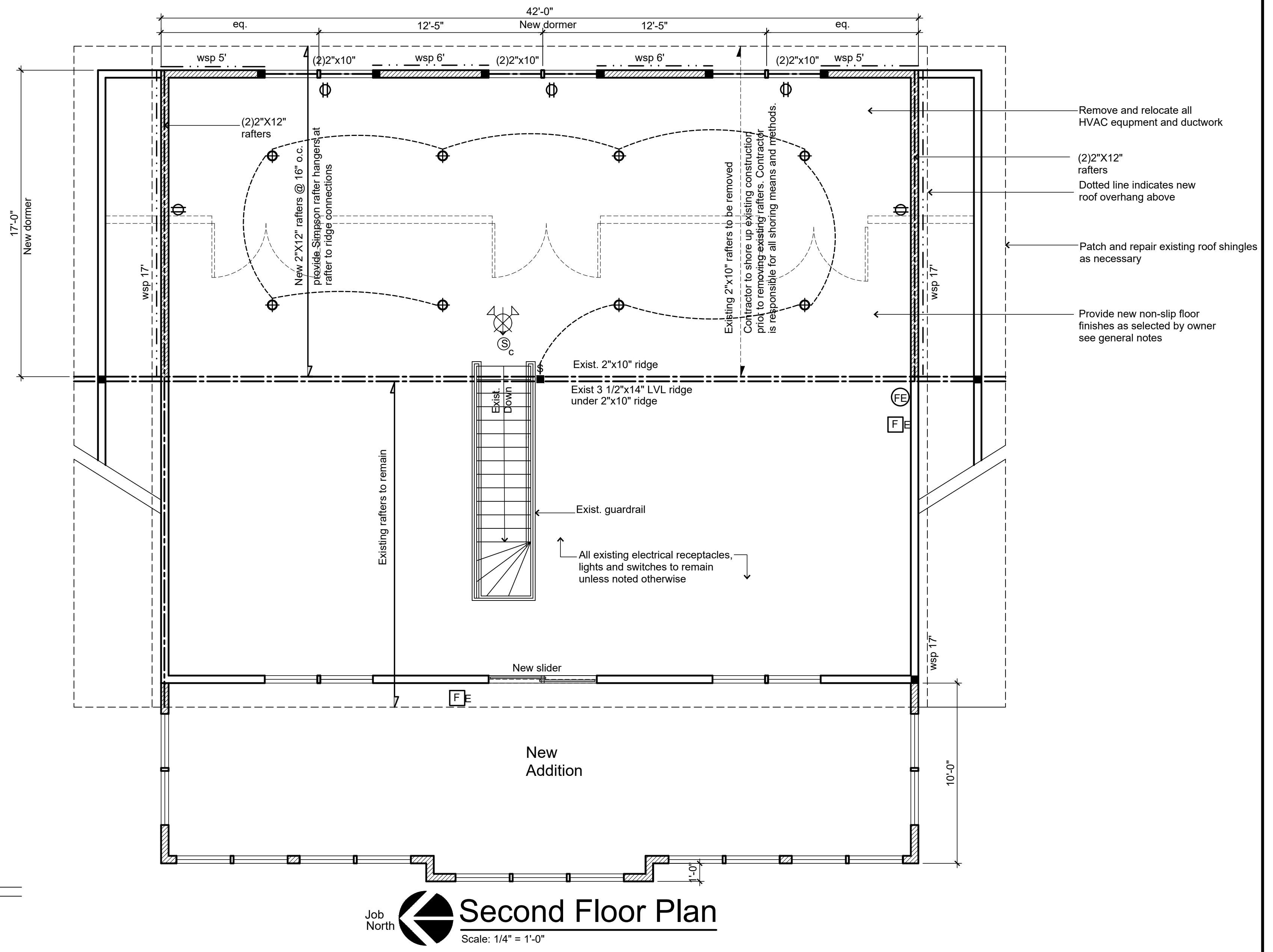
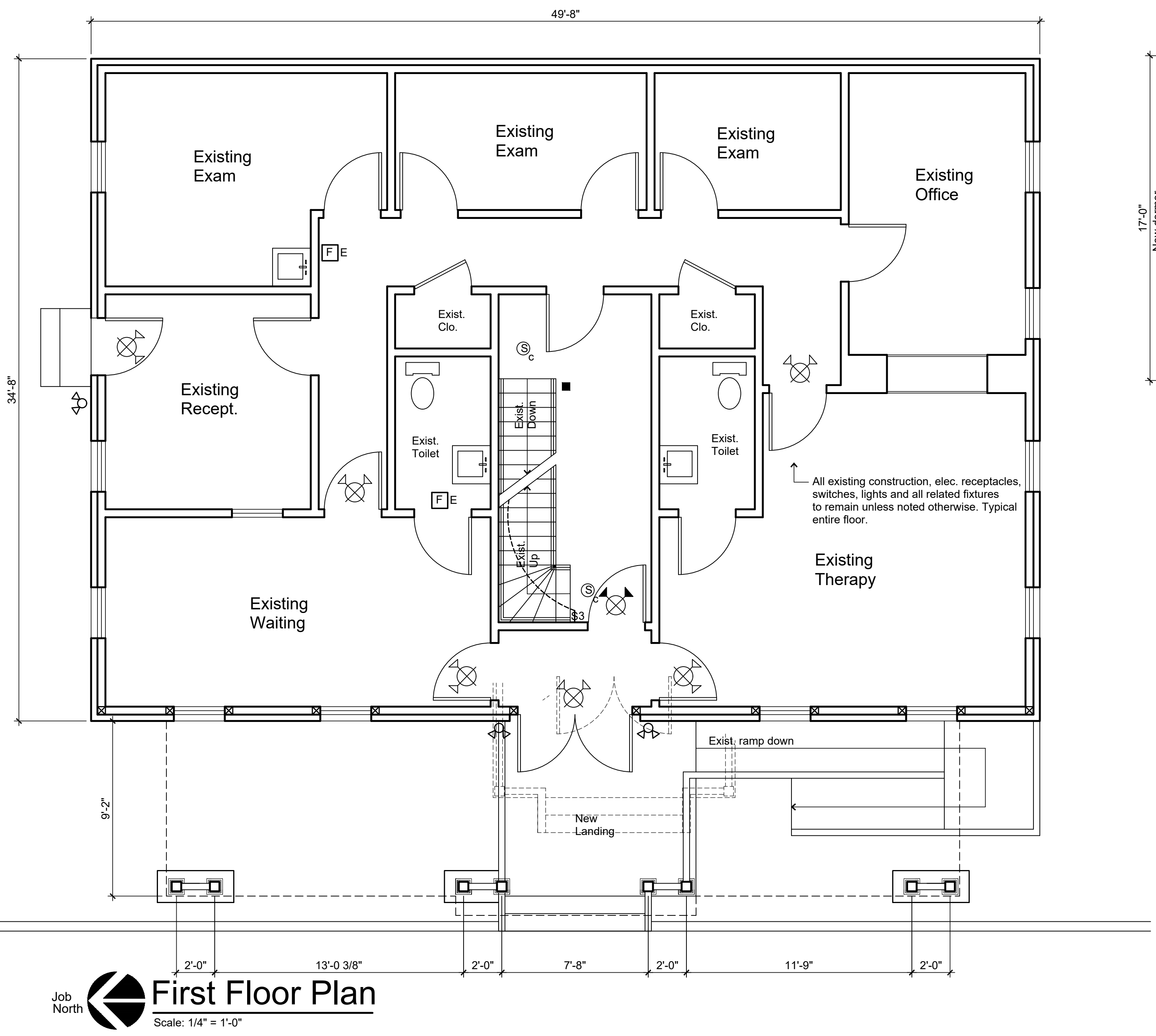
Legend

- Existing construction to be removed. Patch and repair all adjacent finishes as necessary and remove existing electrical wiring back to existing electrical panel.
- ▨ 2"x4" vert. wd. studs @ 16" o.c. with 1/2" gyp. bd. both sides. Tape, spackle, sand smooth and paint color as selected by owner.
- ▬ Existing construction to remain
- ⌣ Existing door to remain
- 2' x 6' New wood door as selected by owner. See plan for sizes.
- ⌚ UL listed single pole light switch. Verify dimming requirements with owner
- Ⓢ Smoke/carbon monoxide detector shall be U.L. listed and receive their power directly from 1 panel. Units shall also have battery backup. Units shall be interconnected so as to sound simultaneously when one is activated.
- Ⓜ New 120V 20A duplex electrical receptacle. verify electrical requirements and final locations with owner. Provide dedicated elec. receptacles at washer/dryer area as necessary. Verify power requirements with manufacturer. Mount GFI receptacles above countertops.
- ⊙ New UL listed LED recessed downlight for wet location.
- ⊕ New UL listed LED recessed downlight. Verify dimming requirement and location of all light fixtures with owner.
- (3) 2"x4" wood post, unless noted otherwise. Provide solid blocking below all posts down to solid bearing
- ⊠ Post from above
- WSP See shear wall schedule for nailing requirements of sheathing. Provide shear nailing for full height of walls at all gables
- FE Existing Fire extinguisher. Minimum rating 2-A:10-B:C.
- ⊕ Existing UL listed combination illuminated exit light / dual cone emergency light with battery backup.
- FE Existing audible / visual fire alarm strobe to remain
- ⊕ Existing egress lighting to remain



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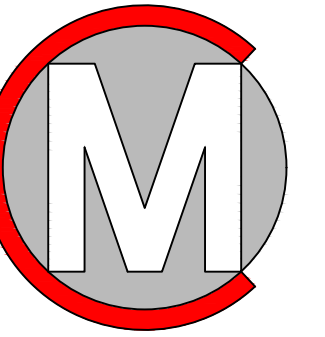
Job North **Second Floor Plan**
 Scale: 1/4" = 1'-0"

1 8/8/23 Issued for review
 No. Date Description
Print Issue

Project:
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246 Barkley Avenue
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Floor Plans

Scale as noted
 Project No. 21-228
 Drawn MC
A2 of 3



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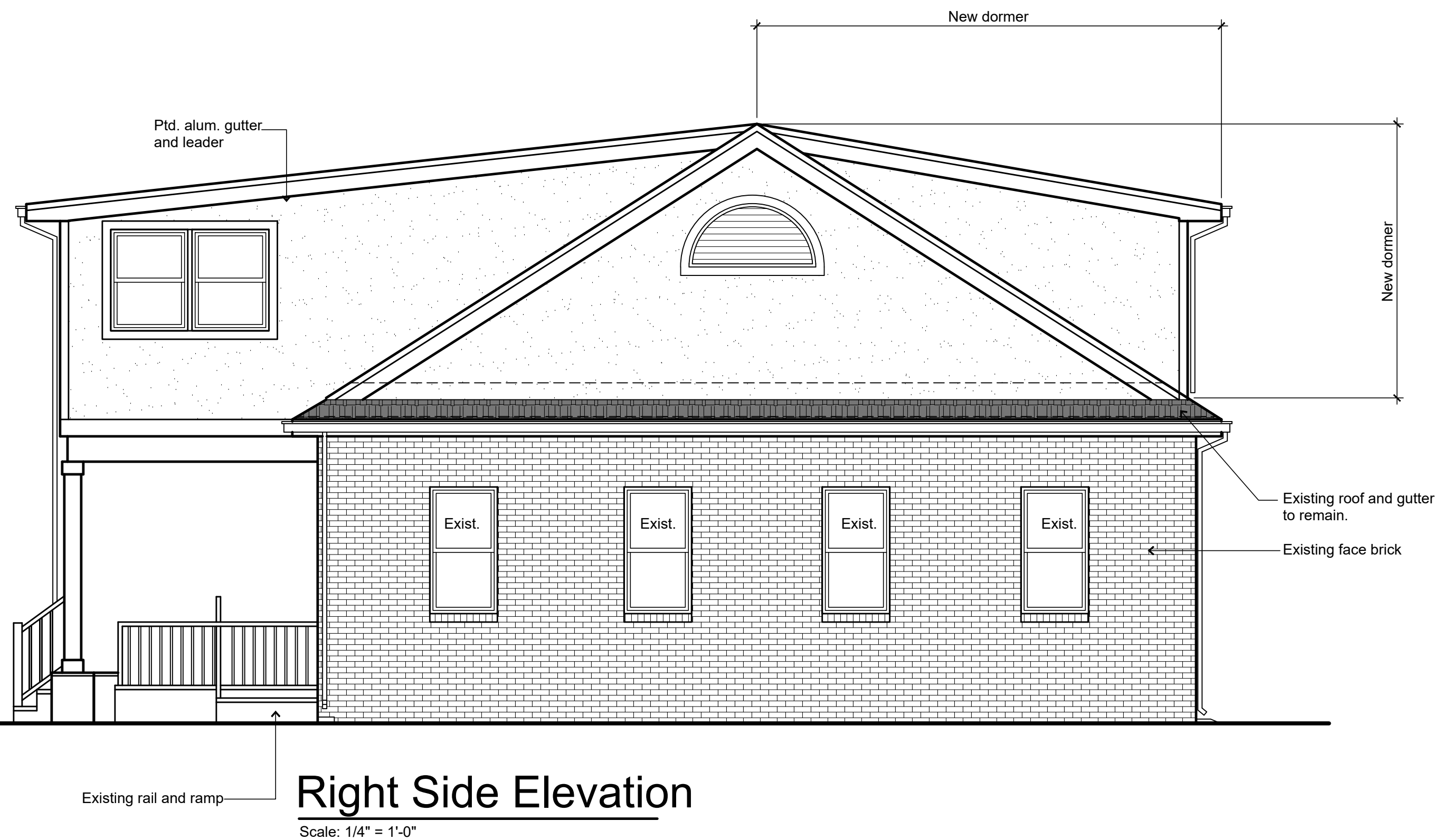


Left Side Elevation

Scale: 1/4" = 1'-0"

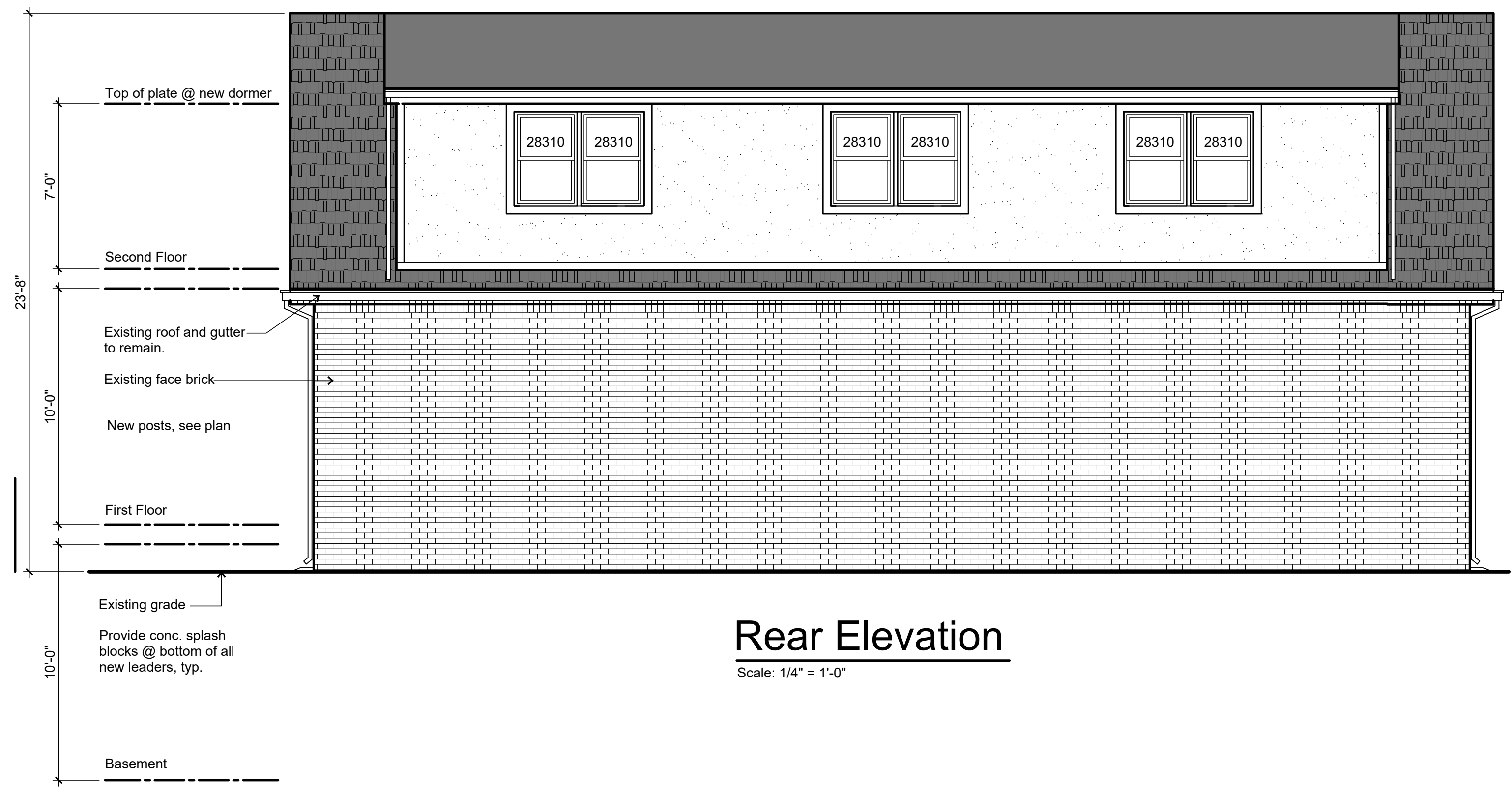
Front Elevation

Scale: 1/4" = 1'-0"



Right Side Elevation

Scale: 1/4" = 1'-0"



Rear Elevation

Scale: 1/4" = 1'-0"

No.	Date	Description
1	7/27/23	Issued for review

Print Issue

Project,
 New second floor dormer
246 Barkley Avenue
 Clifton, New Jersey

Elevations

Scale as noted
 Project No. 21-228
 Drawn
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