

January 11, 2024

City of Clifton
Planning Board
900 Clifton Avenue
Clifton, NJ 07013

Re: **Minor Subdivision Review No. 1**
Hamdan Home Builders LLC
A2 Mt. Washington Drive
Block 32.08, Lot 7
City of Clifton, Passaic County, New Jersey
Neglia No.: CLIFSPL24.010

Honorable Board Members:

As requested, Neglia Group (“Neglia”) has performed a review of the materials received in support of the above referenced application. Specifically, Neglia has reviewed the following:

- City of Clifton Planning Board Application for Development and/or Appeal, dated December 20, 2023; and
- Plan consisting of one (1) sheet entitled “Minor Subdivision Plat, Tax Lot 7, Block 32.08, a.k.a. A2 Mt. Washington Drive, City of Clifton, Passaic County, New Jersey,” prepared by Robert L. Cignol, P.L.S., of DMC Associates, Inc., dated September 13, 2022.

Property Information

The subject property is located on Block 32.08, Lot 7 as per the City of Clifton Tax Map and is commonly known as A2 Mt. Washington Drive. The property is a 10,612 square foot (0.244 acre) lot within the R-A3 (Residential One-Family) zone. The subject property is a corner lot, located southeast of the intersection between Mt. Washington Drive and Valley Road (Passaic County Route 621). The property is bounded by Valley Road to the west with residential uses beyond, Mt. Washington Drive to the north with residential uses beyond, and by residential uses to the east and south. The existing site is presently developed with a single-family dwelling fronting Mt. Washington Drive.

The Applicant proposes a subdivision of the subject property which would subdivide existing Lot 7 into two proposed lots: Lot 7.01 with a proposed area of 5,612 square feet (0.129 acres) and Lot 7.02 with a proposed area of 5,000 square feet (0.115 acres). The Applicant indicates a proposed use of “Single Family Residence” for each proposed lot.

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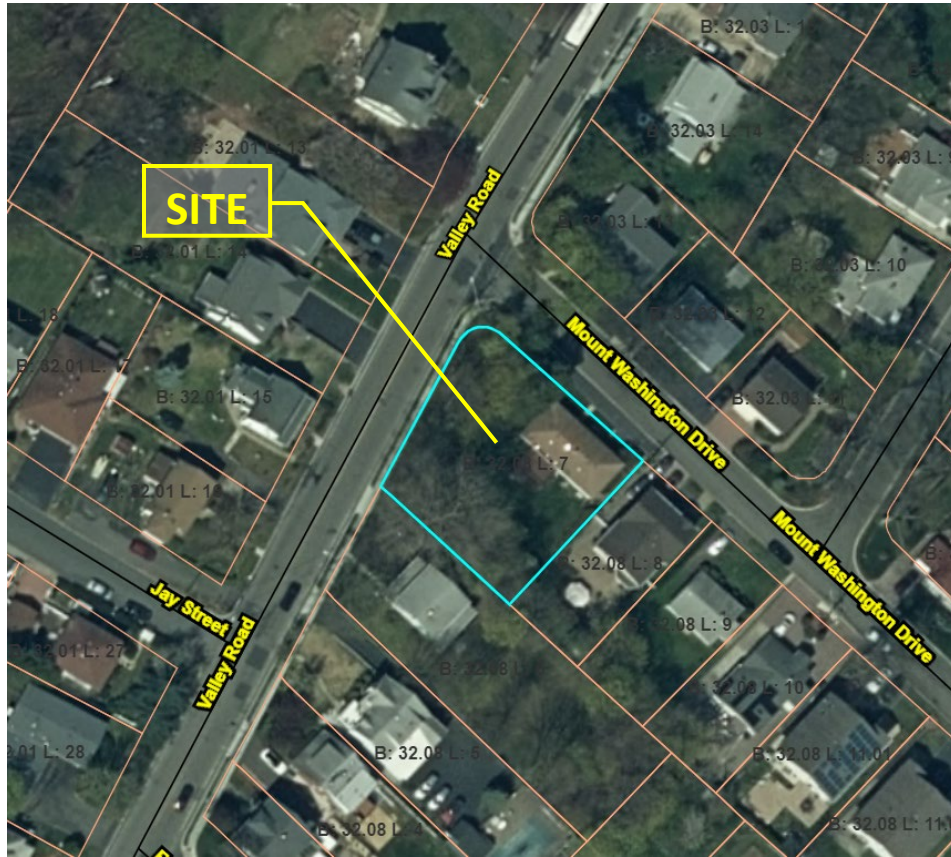


Image: NJ-GeoWeb

1. Variances/Waivers

- 1.1 We defer all comments regarding use, zoning, variances, setbacks, height, design waivers, and sufficiency of the parking supply to the Board's Planning Consultant.

2. Minor Subdivision Comments

- 2.1 The submitted subdivision plan has been reviewed by this office as a Minor Subdivision. The Applicant shall confirm if the subdivision is approved will it be memorialized by filing a deed or filing the map.
- 2.2 The proposed Lot designations and associated addresses shall be approved by the City Tax Assessor and shall be in accordance with the State Tax Map regulations. We concur with the proposed designations included on the subdivision plan.
- 2.3 The Applicant shall confirm there are no existing title restrictions, covenants, easements, etc. that may affect the use or subdivision of the property and shall add a note regarding same on the minor subdivision plan.
- 2.4 The two proposed parcels have been checked for lot closure and lot area and are satisfactory.

- 2.5 The Applicant shall add a new easement to encompass the existing gas main crossing the subject parcel (along the Mt. Washington Drive frontage) to the satisfaction of the gas provider.
- 2.6 In accordance with the City of Clifton Application for Subdivision Check List, Minimum Subdivision Plan Requirements Item 2, the Surveyor shall include the name and address of Applicant.
- 2.7 In accordance with the City of Clifton Application for Subdivision Check List, Minimum Subdivision Plan Requirements Item 3, the Surveyor shall include the name and address of Owner of record.
- 2.8 In accordance with the City of Clifton Application for Subdivision Check List, Minimum Subdivision Plan Requirements Item 3, the Surveyor shall provide a signed and sealed plan.
- 2.9 In accordance with the City of Clifton Application for Subdivision Check List, Minimum Subdivision Plan Requirements Item 6, the Surveyor shall add a north arrow and reference meridian for the “Existing Conditions Survey” and the “Proposed Minor Subdivision” details.
- 2.10 In accordance with the City of Clifton Application for Subdivision Check List, Submission Requirements for Minor Subdivisions Item 3, the Applicant shall add all existing structures within 100 feet of subject property.
- 2.11 In accordance with City Ordinance 461-13N(1)(l), the required building setback for Valley Road is 60 feet from the centerline. The plan states the width of Valley Road is 50 feet, therefore the required setback from the right-of-way line is 35 feet. The Applicant shall revise the plan to reflect the required setback along Valley Road.
- 2.12 All subdivision of land within Passaic County shall be submitted to the Passaic County Planning Board for review. Copies of approvals shall be provided to the Board and this office for review.

3. General Comments

- 3.1 At such time as a hearing is scheduled regarding this matter, a representative or owner of the project site shall be present to address questions from the Board.
- 3.2 The Applicant shall provide testimony with respect to proposed tree removals along the Valley Road property as a result of the proposed Minor Subdivision. The Applicant shall comply with City of Clifton Ordinance §433-25 for proposed tree removals.

4. Final Comments

- 4.1 The Applicant shall obtain any and all approvals required by outside agencies and internal municipal departments, including but not limited to, NJDOT, NJDEP, Passaic County, Hudson-Essex-Passaic Soil Conservation District, as well as the City of Clifton Police Department, Fire Department, Emergency Management and Department of Public Works. It is the Applicant’s responsibility to determine which outside agency permits are required. Copies of said approvals shall be provided upon receipt.
- 4.2 New and revised materials shall be filed with the City and shall not be sent directly to the Board’s professionals. The municipality will forward the application and related materials to the Board’s professionals when they are finished with their review. Materials submitted directly to Neglia will not be reviewed.

- 4.3 Revised reports, plans and exhibits which are to be considered at the hearing should be submitted ten days prior to the scheduled hearing.
- 4.4 The above comments are based on a review of materials submitted and/or testimony provided to date. Neglia reserves the right to provide new or updated comments as additional information becomes available.
- 4.5 Neglia recommends that a comment response letter be prepared and submitted addressing the comments / recommendations of this letter.

We trust you will find the above in order. Should you have any questions or require additional information, please do not hesitate to contact the undersigned.

Very truly yours,
Neglia Group



Brian Intindola, P.E., C.M.E.
Principal

Very truly yours,
Neglia Group



Anthony Kurus, P.E., P.P., C.M.E.
Principal

cc: Liana Bolcato - Zoning Officer (*via: email*)
Ernie Tedesco – Construction Official (*via: email*)
Michael Lardner, P.E. – City Engineer (*via: email*)
Michael Rowan – City Fire Chief (*via: email*)
Michael Pressler – City Fire Official (*via: email*)
Robert A. Ferraro, Esq. – Board Attorney (*via: email*)
Jill Hartmann, P.P. – Board Planner (*via: email*)
Sean R. McGowan, Esq. – Applicant’s Attorney (*via: email smcgowan@greenbaumlaw.com*)
Robert Cignol, P.L.S. – Applicant’s Surveyor (*via: email rciqol@dmcsurveying.com*)

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