

GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE 2021, UNIFORM CONSTRUCTION CODE, AND THE ZONING ORDINANCE OF THE TOWN WHERE THE WORK IS PERFORMED.
2. THESE PLANS ARE SUBJECT TO CHANGE OR MODIFICATION BY OWNER OR ANY AGENCIES HAVING JURISDICTION CHANGES MUST BE APPROVED BY THE BUILDING DEPARTMENT.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE AND SHALL REPORT ANY DISCREPANCIES TO THE OWNER OR ARCHITECT PRIOR TO STARTING OR DURING CONSTRUCTION. COMMENCEMENT OF THE WORK BY THE CONTRACTOR SHALL IMPLY HIS ACCEPTANCE OF EXISTING CONDITIONS.
4. DIMENSIONS ARE ACCURATE AS POSSIBLE FROM FIELD DIMENSIONS, HOWEVER, THEY MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. UPON FINDING ANY UNFORESEEN CONDITIONS ON THE PROJECT, WHICH WOULD INDICATE IMMEDIATELY CHANGE THE SCOPE OF THE WORK, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND ADVISE THE OWNER FOR FURTHER DIRECTIONS.
5. DO NOT SCALE DRAWINGS FOR DIMENSIONS.
6. ALL CONSTRUCTION SHALL CONFORM TO ACCEPTED PRACTICES AS DEFINED BY THE STANDARDS OF THE TRADES AND LATEST EDITION OF THE RELATIVE TRADE JOURNAL OR TRADE ASSOCIATION METHOD OF CONSTRUCTION.
7. WORK SHALL BE CAREFULLY COMPLETED SO THAT EXISTING CONDITIONS ARE NOT DISTURBED. REPAIR OR REFINISH ANY EXISTING SURFACE OR PART WHICH IS DISTURBED AS A RESULT OF THIS WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO HANDLE AND REMOVE ITEMS TO BE RETAINED BY THE OWNER AS PER AGREEMENT. ALL AREAS SHALL BE PROTECTED FROM DUST AND SHALL BE MAINTAINED "BROOM OR VACUUM CLEAN" DURING THE JOB.
9. THE DRAWING ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED IN THE CONTRACT. THE ARCHITECT IS NOT RESPONSIBLE FOR MATERIALS, OR METHODS OF CONSTRUCTION USED.

CARPENTRY:

1. LUMBER AND ITS FASTENINGS SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATION" AS RECOMMENDED BY THE N.E.P.A. AND BUILDING CODE STANDARDS.
2. FRAMING LUMBER SHALL BE DOUGLAS FIR SELECTION STRUCTURAL #1 AND #2, FB= 1,450, E= 1,450,000 -MAX. MOISTURE CONTENT 19%.
3. ALL WOOD SILL SHALL BE PRESSURE TREATED (OSMOSES OR WOMANIZED).
4. CARPENTER SHALL PROVIDE ALL TEMPORARY FRAMING AND BRACING OF WORK TO RESIST THE ELEMENTS DURING CONSTRUCTION AND SHALL NOT REMOVE UNTIL THE BUILDING IS SHEATHED.
5. ANY CUTTING, DRILLING OR NOTCHING OF ANY STRUCTURAL MEMBER SHALL BE ACCORDING TO THE CODE.
6. KEEP A MINIMUM 2" CLEAR OF ALL WOOD FRAMING AT CHIMNEY'S FLUTE, ETC.
7. DOUBLE JOISTS UNDER PARALLEL PARTITIONS ABOVE.
8. ALL FLOOR AND CEILING JOISTS SHALL HAVE ONE ROW OF CROSS BRIDGING PER 8' SPAN.
9. INSTALL DOUBLE STUDS AT EACH SIDE OF OPENING FOR HEADER SUPPORT.

FINISHES:

1. DOORS AND HARDWARE SHALL MATCH THE EXISTING OR SHALL BE SELECTED BY THE OWNER.
2. PROVIDE WATER RESISTANT GYPSUM WALLBOARD FOR WALLS AND CEILINGS IN BATHROOMS.
3. GUARDS AND HANDRAILS SHALL RESIST 200 LBS LOAD APPLIED AT ANY POINT IN ANY DIRECTIONS OR 50 LBS PER FOOT LOAD APPLIED IN ANY DIRECTION.

ELECTRICAL:

1. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE 2020, NFPA #70 AND ALL STATE AND LOCAL CODES.
2. ELECTRICAL CONTRACTOR SHALL VERIFY THE LOCATION AND CHARACTERISTICS OF THE SERVICE AND THE EXTENT OF THE WORK AND SHALL NOTIFY THE UTILITY COMPANY PRIOR TO BEGINNING WORK AS MAY BE REQUIRED.
3. ONLY COPPER CONDUCTORS MAY BE USED (ALUMINUM CONDUCTORS SHALL NOT BE PERMITTED).
4. ALL ELECTRICAL EQUIPMENT SHALL BEAR "UL" LABEL AND BE OF A GRADE SUITABLE FOR ITS INTENDED USE.
5. ELECTRICAL CONTRACTOR SHALL BALANCE ALL NEW CIRCUITS.
6. ELECTRICAL CONTRACTOR SHALL INSTALL ALL NEW FIXTURES.
7. CONTRACTOR SHALL REVIEW ELECTRIC OUTLETS, SWITCHES & LIGHTING LAYOUT PRIOR TO INSTALLATION.

PLUMBING:

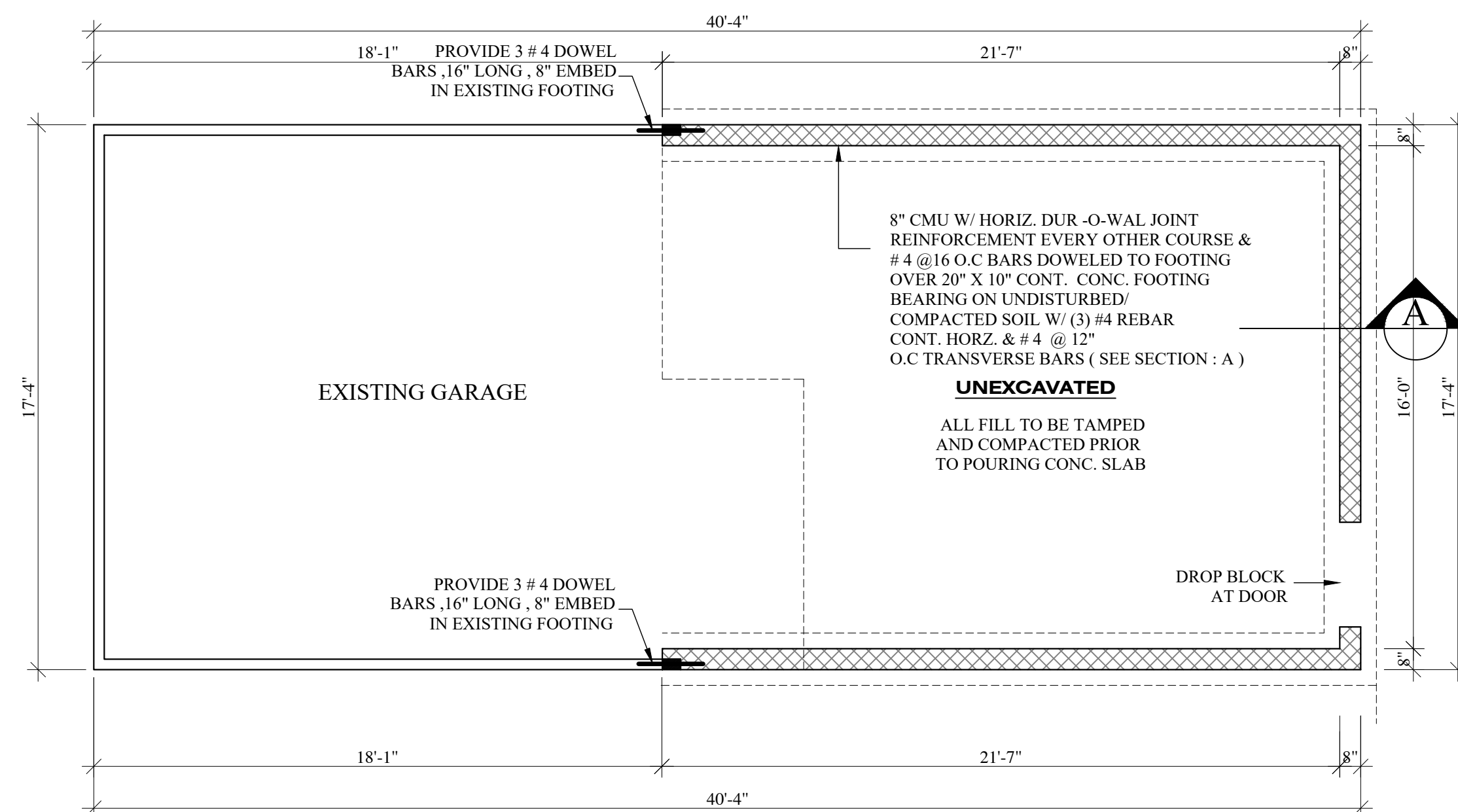
1. ALL PLUMBING WORK SHALL COMPLY WITH THE NATIONAL STANDARD PLUMBING CODE 2021 AND ALL APPLICABLE STATE, LOCAL AND HEALTH CODES.
2. PLUMBING CONTRACTOR SHALL VERIFY ALL INVERTS AND EXISTING CONDITIONS PRIOR TO INSTALLATION OF THE NEW WORK.
3. ALL PIPES PENETRATIONS SHALL BE SLEEVED.
4. ALL PIPES TO BE CONCEALED UNLESS OTHERWISE NOTED.
5. ALL NEW HOT & COLD TEMPERED LINES SHALL BE INSULATED WITH MINIMUM 1/2" FIBERGLASS INSULATION.
6. PROVIDE STOP VALVES ON ALL WATER SUPPLIES TO EQUIPMENT AND WATER LINES.
7. INSTALL ALL FIXTURES, PURCHASE SHALL BE AS PER ALLOWANCE COST IN THE AGREEMENT.

SPECIAL:

1. ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF IRC 2015 SECTION R313 AND NFPA 720. SMOKE DETECTORS SHALL BE INSTALLED IN THE BEDROOMS, IN THE VICINITY OF BEDROOMS & IN EACH STORY OF THE DWELLING INCLUDING BASEMENT. THE DETECTORS SHALL BE ELECTRICALLY HARD WIRED. INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS AND SHALL RECEIVE POWER FROM A BATTERY, WHEN THE AC PRIMARY POWER SOURCE IS INTERRUPTED.
2. CARBON MONOXIDE ALARMS SHALL BE MANUFACTURED, LISTED AND LABELED IN ACCORDANCE WITH UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF IRC 2015 SECTION R325 AND NFPA 720.
3. PROVIDE EMERGENCY ESCAPE WINDOWS AT EACH BEDROOM, EACH EMERGENCY ESCAPE WINDOW SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 SQ. FT. MIN. 20" IN HEIGHT & MIN. 20" IN WIDTH (GRADE FLOOR WINDOWS SHALL BE 5.0 SQ. FT.).
4. INSULATION MUST MEET THE MINIMUM STANDARD OF INTERNATIONAL BUILDING CODE 2015. MINIMUM DEMONSTRATION PRACTICE IS AS FOLLOWS: R-38 (ATTIC CEILINGS), R-15 (WALLS), R-19 (FLOORS OVER UNHEATED SPACE), R-19 (CATHEDRAL CEILINGS).

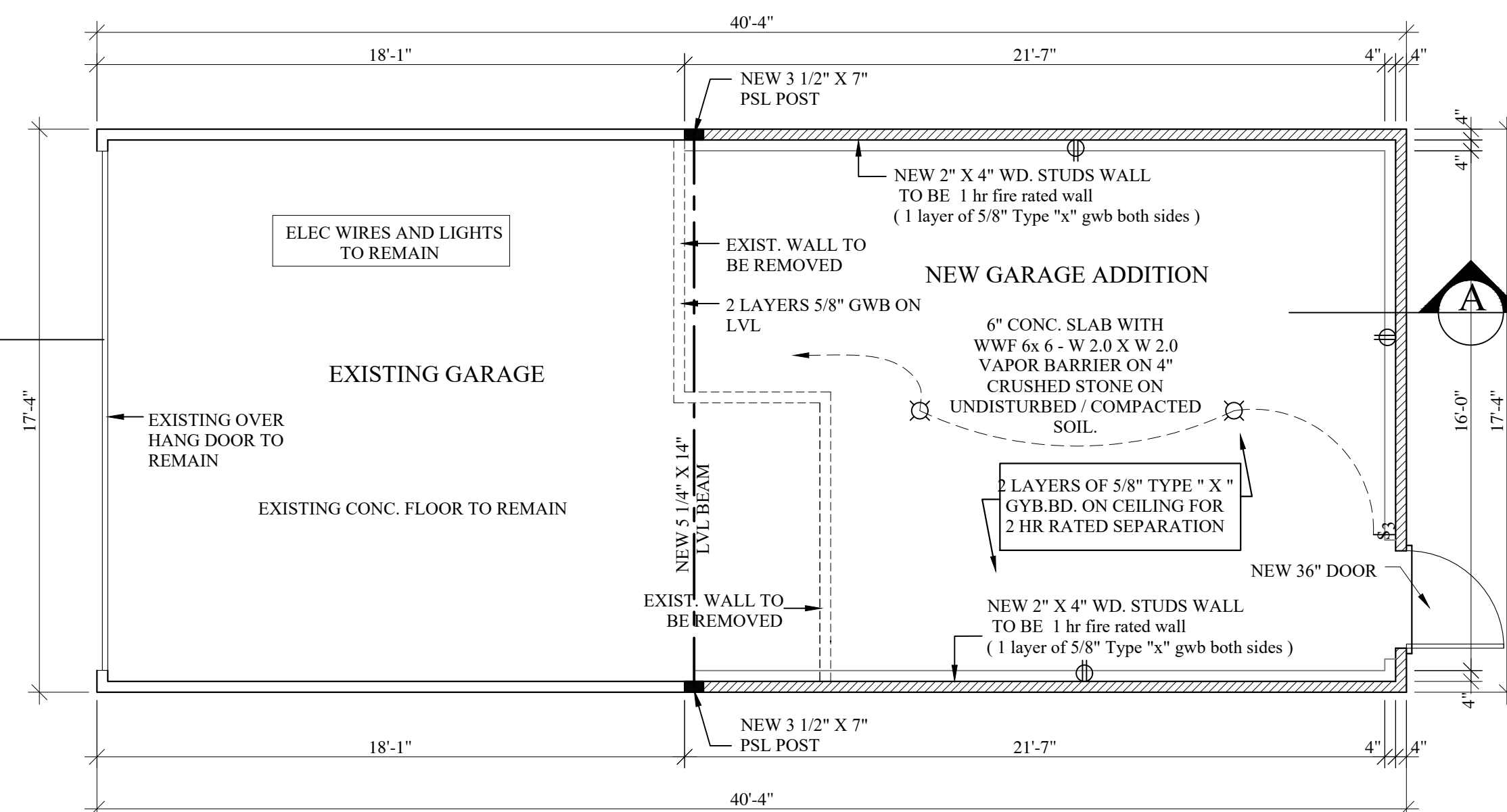
DESIGN LOADS (PSF)			
USE	LIVE	DEAD	TOTAL
FLOOR (SLEEPING ROOMS)	30	20	50
FLOOR (OTHER THAN SLEEPING RM)	40	20	60
CEILING (LIMITED STOR.)	20	10	30
CEILING (NO STOR.)	10	10	20
ROOF	30	15	45
STAIRS	40	10	50
DECKS	50	15	65
GARAGE FLOOR	50		
GUARDRAILS/HANDRAILS	200*		
SNOW	30		
WIND	90 MPH		

*A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP



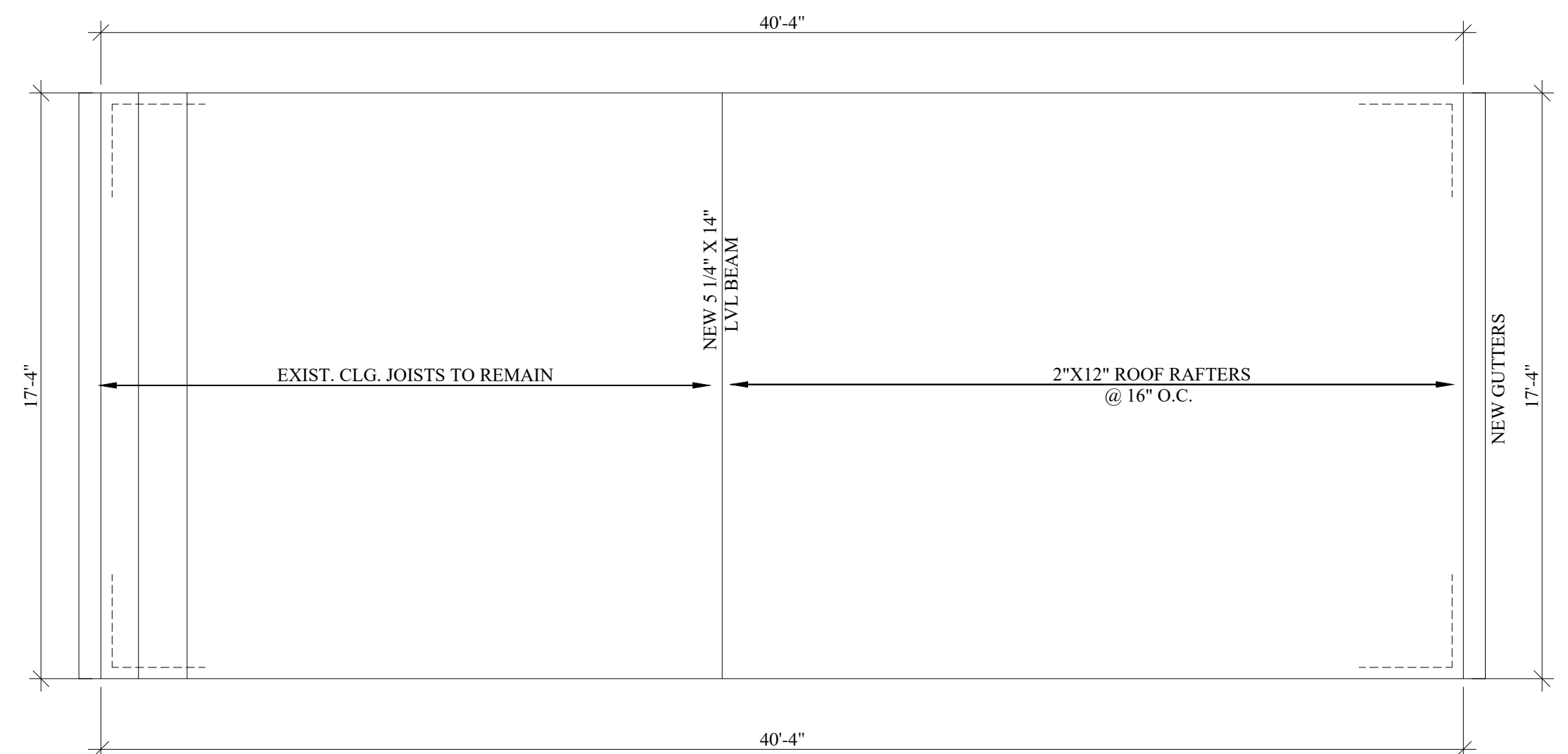
FOUNDATION PLAN

SCALE 1/4" = 1'-0"



PROPOSED FLOOR PLAN

SCALE 1/4" = 1'-0"



PROPOSED ROOF PLAN

SCALE 1/4" = 1'-0"



VIEW OF EXISTING BUILDING

ALL CONSTRUCTION TO BE IN COMPLIANCE WITH THE FOLLOWING CONSTRUCTION CODES:

- 2021 INTERNATIONAL BUILDING CODE, NJ EDITION
- 2021 INTERNATIONAL RESIDENTIAL CODE, NJ EDITION
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE (RESID.)
- 2019 ASHRAE STANDARD 90.1 (COMMERCIAL)
- 2020 NATIONAL ELECTRICAL CODE (NEPA70)
- 2021 NATIONAL STANDARD PLUMBING CODE
- 2021 INTERNATIONAL FUEL GAS CODE
- 2009 BARRIER FREE SUBCODE ICC/ANSI A117.1
- 2021 ELEVATOR SUBCODE
- REHABILITATION SUBCODE NJAC 5:23-6 LATEST EDITION

ZONING REQUIREMENTS				
ZONE PD-1		PLANNED DEVELOPMENT No : 1		
		461 ATTACHMENT 4		
MINIMUM LOT SIZE				
	REQUIRED	EXISTING	PROPOSED	VARIANCE
PER DWELLING UNIT (S.F.)	-	-	-	N/A
MIN. LOT SIZE (S.F.)	2,500	5,000	5,000	NO
MIN. LOT WIDTH (FT)	25	50.00	50.00	NO
MIN. LOT DEPTH (FT)	100	100	100	NO
MINIMUM YARD DIMENSIONS				
FRONT YARD (FT)	15	0.34	0.34	* ENC
REAR YARD (FT)	-	-	-	-
EACH SIDE YARD (FT)	-	-	-	-
BOTH SIDE YARD (FT)	-	-	-	-
MAXIMUM HEIGHT				
HEIGHT	30	35	35	* ENC
STORIES	2	3 1/2	1	NO
MAXIMUM LOT COVERAGE				
BUILDING COVERAGE	85 %	16.5%	20%	NO

* ENC - EXISTING NON-CONFORMING - PROPOSED ADDITION IS WITHIN REQUIREMENTS - COMPLIES

NOTES REGARDING 461-46 C - ACCESSORY BUILDING

- D (1) - ACCESSORY BUILDING & ADDITION TO ACCESSORY BUILDING ARE NOT WITHIN THE REAR YARD - COMPLIES
- D (2) - EXISTING GARAGE IS NOT IN COMPLIANCE , PROPOSED ADDITION IS AT REAR OF EXISTING - VARIANCE REQUESTED
- D (3) - PROPOSED ADDITION COMPLY
- D (4) - ACCESSORY BUILDING & ADDITION TO ACCESSORY BUILDING DO NOT COMPLY - VARIANCE REQUESTED
- D (5) - DOES NOT COMPLY - ALIGNS WITH EXISTING WHICH DOES NOT COMPLY - VARIANCE REQUESTED
- D (6) - COMPLIES

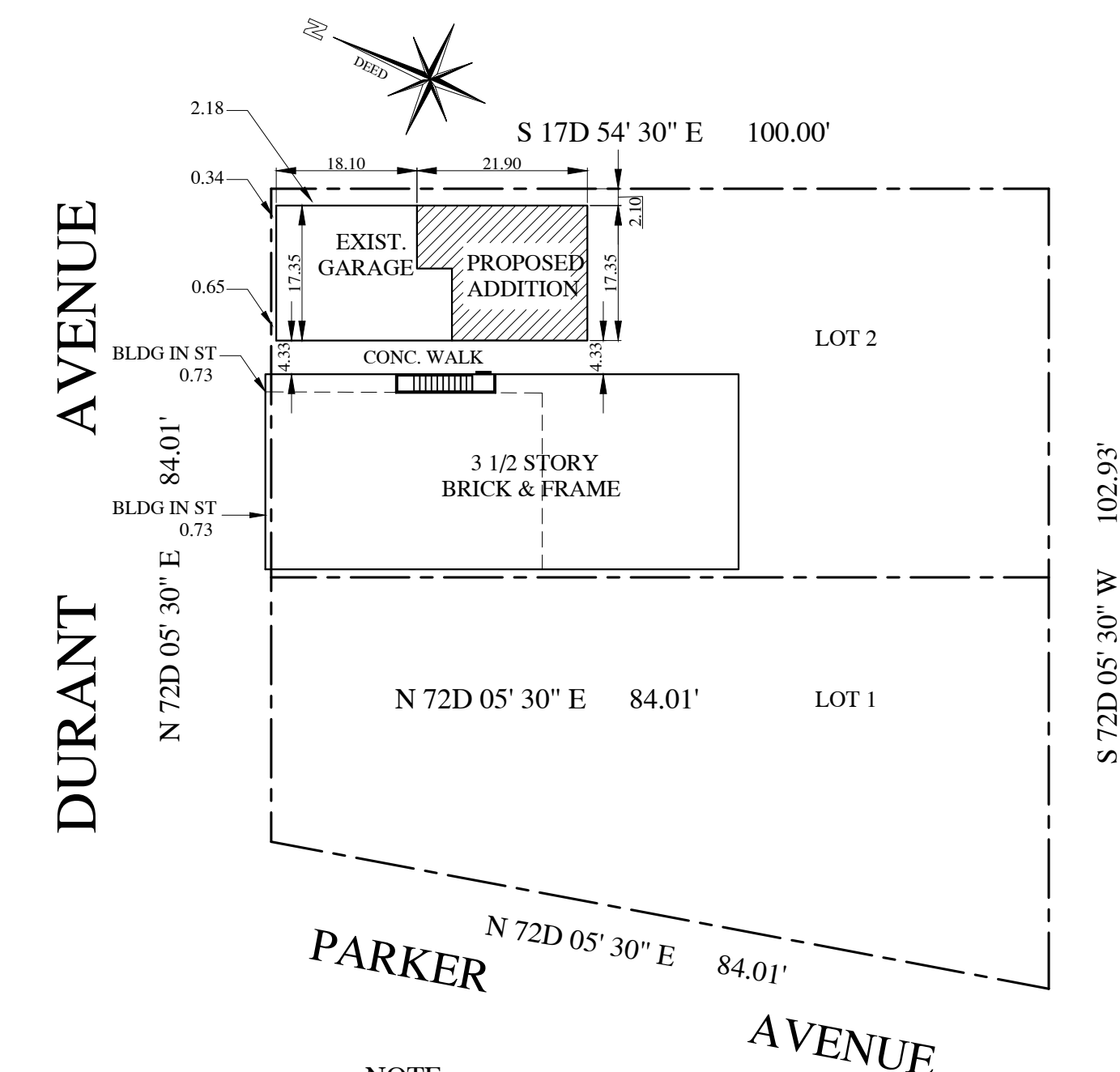
- F (1a) - COMPLIES
- F (1b) - SAME AS D (5) ABOVE - VARIANCE REQUESTED
- F (1c) - COMPLIES

APPROVALS

BOARD ENGINEER : _____ SIGNATURE _____ DATE _____

BOARD CHAIRMAN : _____ SIGNATURE _____ DATE _____

BOARD SECRETARY : _____ SIGNATURE _____ DATE _____



LEGEND
 PROPOSED NEW BUILDING

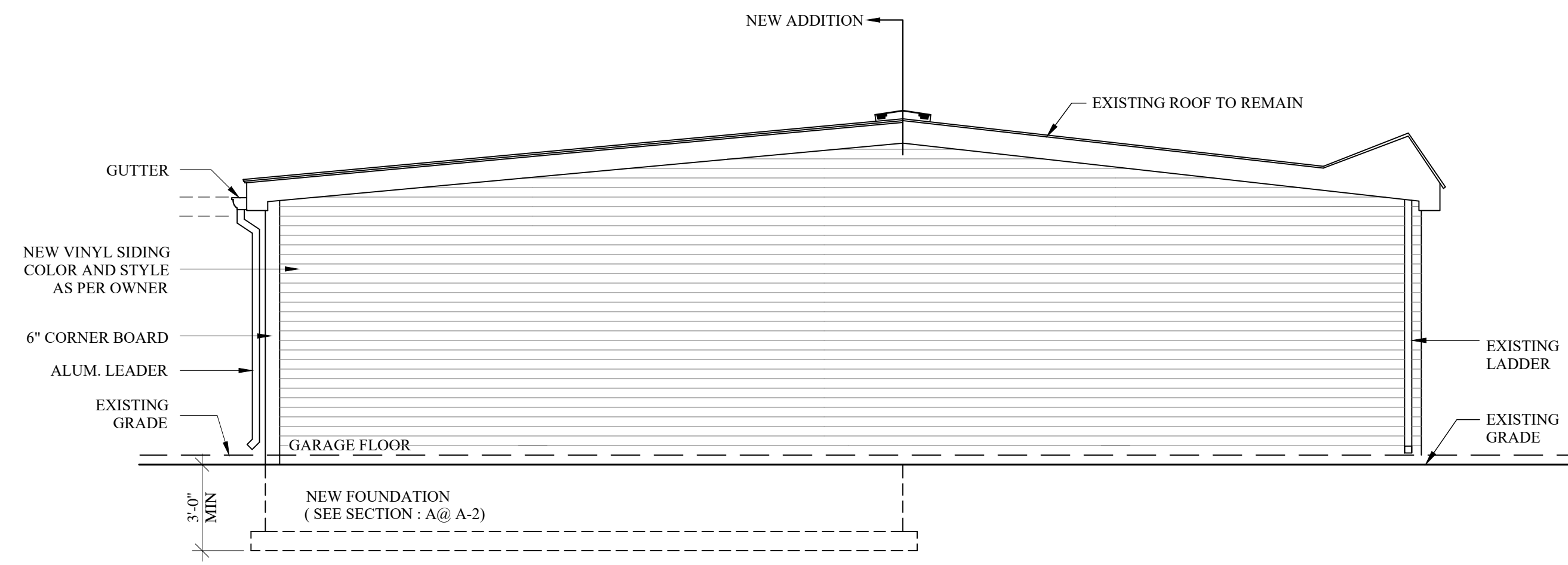
SITE PLAN

SCALE 1" = 20'-0"

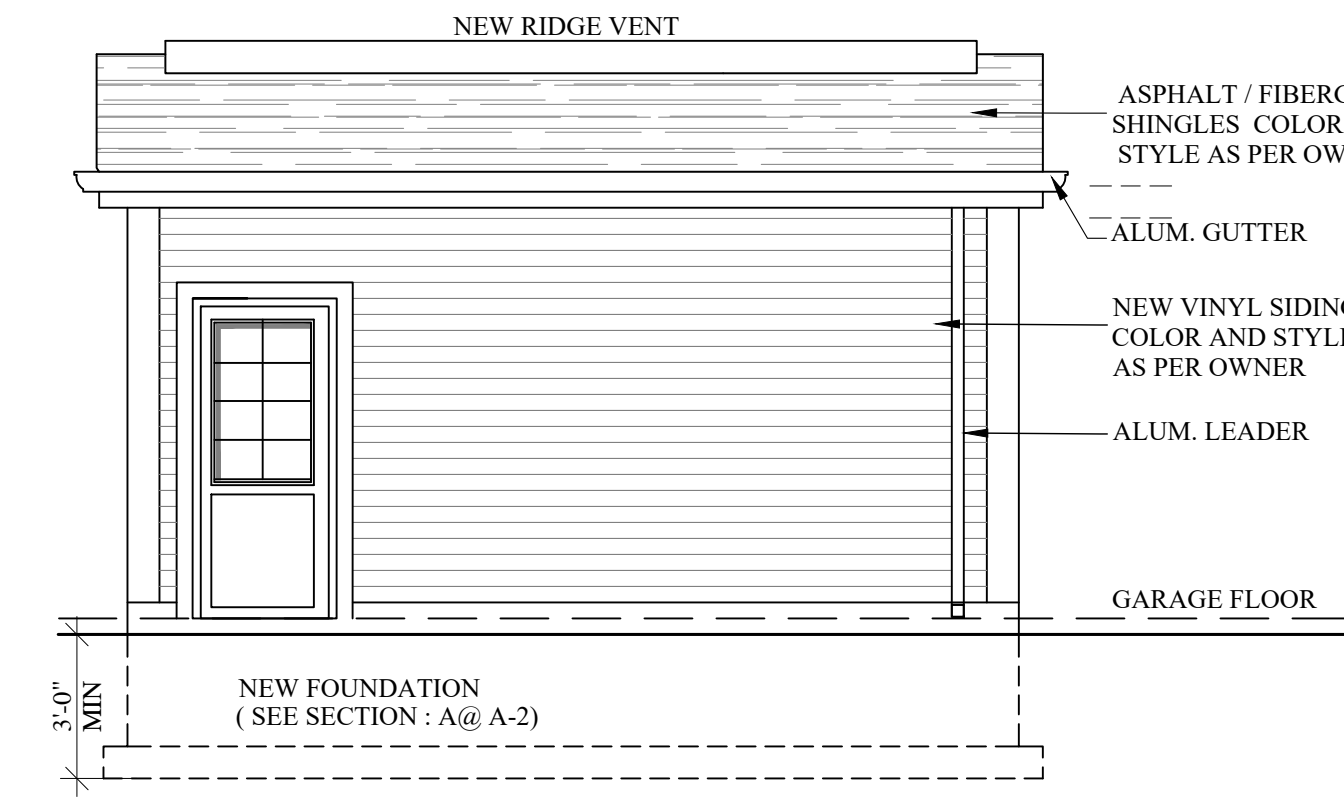
NOTE:
 THIS IS NOT A SURVEY. INFORMATION TAKEN FROM SURVEY OF PROPERTY KNOWN AS LOT 1&2 IN BLOCK 4-18 AS SHOWN ON CERTAIN PROPERTY IN THE CITY OF CLIFTON , PASSAIC COUNTY NEW JERSEY DATED 3/21/1986 PREPARED JOHN A . DOOLITTLE & CO . P.A. NEW JERSEY LICENSE # 8133

PROJECT DATA	
DESCRIPTION	NEW GARAGE ADDITION IN : 59 DURANT AVENUE - CLIFTON, NEW JERSEY
CONSTRUCTION CLASS.	5-B
# STORIES	1
GROSS FLOOR AREA (S.F.)	670 SF GARAGE (EXIST. + NEW)
TOTAL LAND AREA DISTURBED	400 SF
TOTAL LAND VOLUME DISTURBED	620 CU. FT

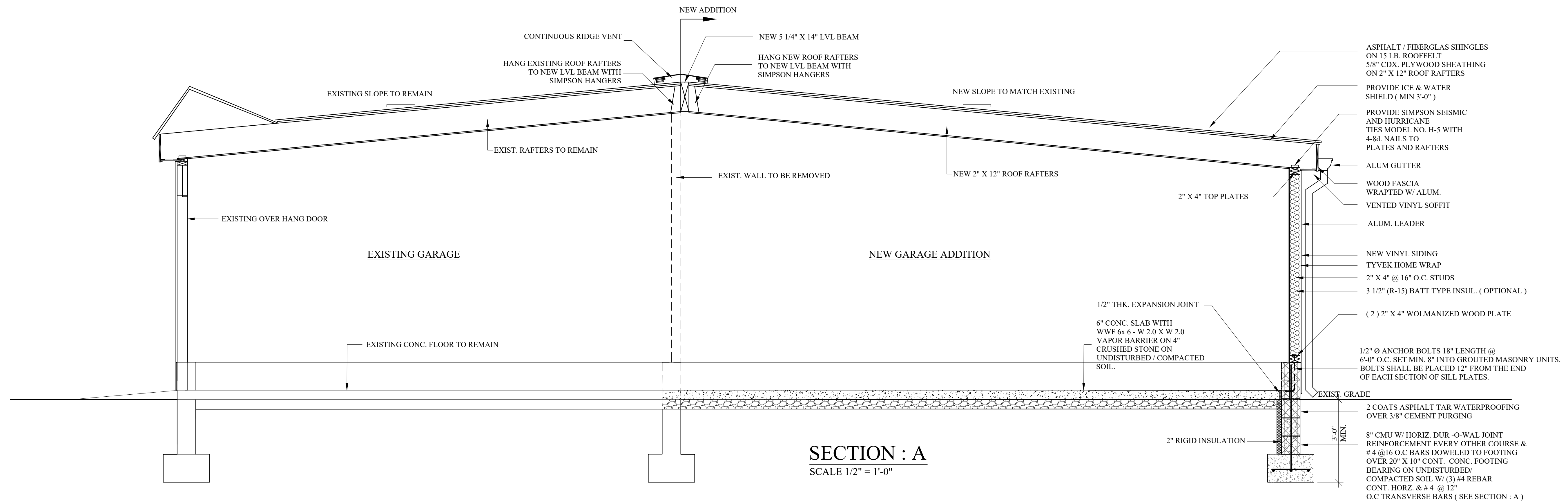
REV. NO.	DESCRIPTION	DATE	BY
TODD L. KOENIG ARCHITECT, P.C.			
175 N MAIN STREET - WHARTON , NJ 07885 Tel.:973-366-9700 Fax:973-366-9733 Email address : tk@koenigarchitect.com			
<small>NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY THE ARCHITECT. THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, RE-USED OR ALTERED WITHOUT WRITTEN PERMISSION.</small>			
CLIENT:	270 PARKER AVENUE, INC 270 PARKER AVENUE CLIFTON, NEW JERSEY	PROJECT:	PROPOSED NEW GARAGE ADDITION IN 59 DURANT AVENUE CLIFTON, NEW JERSEY
GENERAL NOTES , PROJECT DATA			
FLOOR PLAN			
LICENSES	PROJECT ID:	33-2-06	DRAWING NO.:
NJ A1 13653	DRAWN BY:	VC	A-1
NY 019055-1	CHECKED BY:	TK	
PA 012151-B	SCALE:	AS NOTED	
CT 10676	DATE:	5/4/2023	
			SHEET 1 OF 2



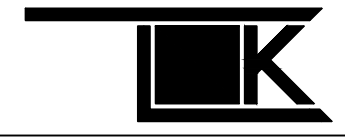
PROPOSED LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE 1/4" = 1'-0"



SECTION : A
SCALE 1/2" = 1'-0"

REV. NO.	DESCRIPTION	DATE	BY
 TODD L. KOENIG ARCHITECT, P.C.			
175 N MAIN STREET - WHARTON, NJ 07885 Tel.:973-366-9700 Fax:973-366-9733 Email address : tk@koenigarchitect.com			
NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY THE ARCHITECT. THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, RE-USED OR ALTERED WITHOUT WRITTEN PERMISSION.			
CLIENT: 270 PARKER AVENUE, INC 270 PARKER AVENUE CLIFTON, NEW JERSEY		PROJECT: PROPOSED NEW GARAGE ADDITION IN 59 DURANT AVENUE CLIFTON, NEW JERSEY	
ELEVATIONS & SECTION			
LICENSES	PROJECT ID:	33-2-06	DRAWING NO.:
NJ AI 13653	DRAWN BY:	VC	A-2
NY 019055-1	CHECKED BY:	TK	
PA 012151-B	SCALE:	AS NOTED	
CT 10676	DATE:	5/4/2023	
		SHEET	2 OF 2