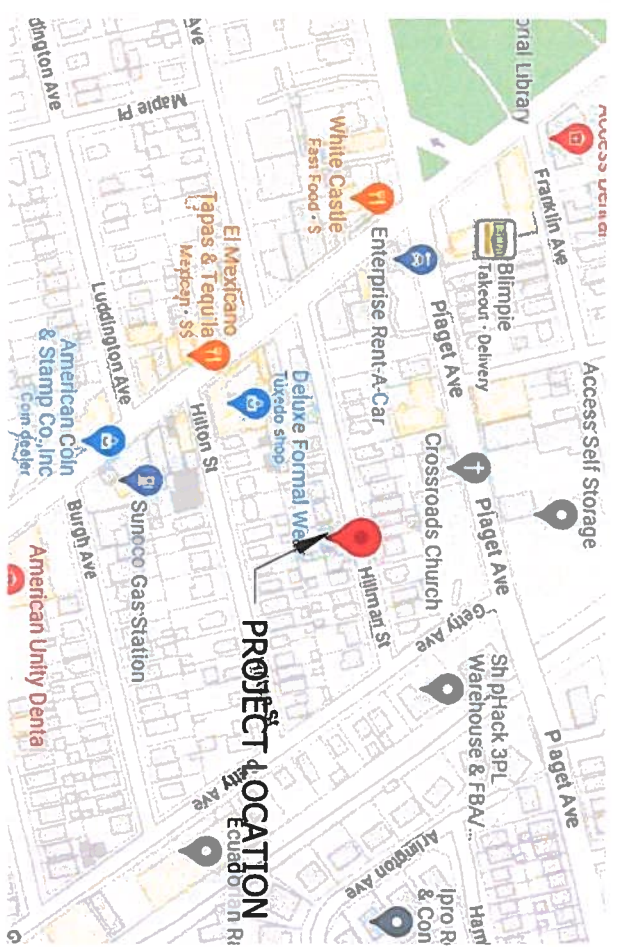


# PROPOSED SECOND FLOOR ADDITION

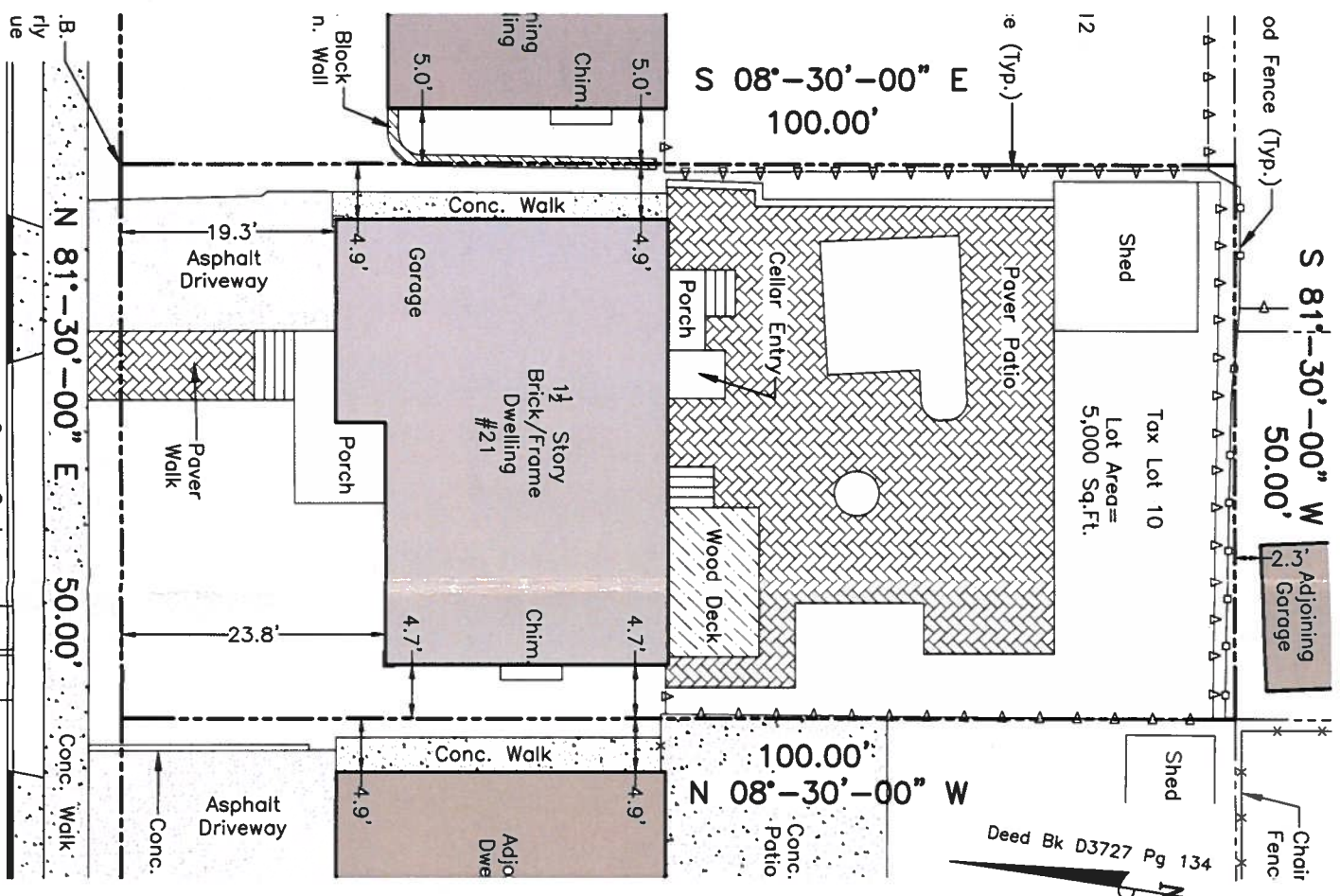
21 HILLMAN ST., CLIFTON, NJ 07011  
 BLOCK: 11.08 LOT: 10

FIRST FLOOR	860 SQ. FT.
SECOND FLOOR	1,025 SQ.FT.
TOTAL:	1,885 SQ.FT.
LOT AREA:	5,000 SQ.FT.
F.A.R.	0.38

CONSTRUCTION TYPE	5-B
USE GROUP	R-5
DESIGN LOADS	
LIVE LOAD	40 PSF
DEAD LOAD	15 PSF
1ST & 2ND FLOORS	20 PSF
UNFINISHED ATTIC	10 PSF
ROOF	30 PSF (SNOW)



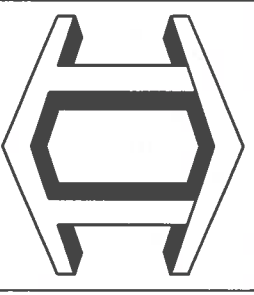
AREA MAP  
 N.T.S.



**SITE PLAN**  
 Hillman Street  
 TAKEN FROM SITE SURVEY CONDUCTED  
 BY SCHMIDT SURVEYING DATED 5/12/2023  
 Scale: 1 inch = 20 feet

**SCOPE OF WORK:**  
 PARTIAL SECOND FLOOR ADDITION AND MINOR ALTERATION.  
 WORK TO CONSIST OF INSTALLATION OF A NEW BATHROOM  
 AND PARTIAL REMOVAL OF EXISTING ROOF AND REPLACING  
 WITH A HIGHER ROOF TO ALLOW FOR HIGHER CEILING  
 HEIGHT.  
 EXISTING FIRST FLOOR NOT IN SCOPE.

ITEM	REQUIRED	EXISTING	PRPSD	VARIANCE REQ?
MINIMUM LOT AREA PER DWELLING	5,000 SQ.FT.	5,000 SQ.FT.	NO CHANGE	NO
MINIMUM LOT AREA	5,000 SQ.FT.	5,000 SQ.FT.	NO CHANGE	NO
MINIMUM LOT WIDTH	50 FT	50 FT	NO CHANGE	NO
MINIMUM LOT DEPTH	88 FT	100 FT	NO CHANGE	NO
FRONT YARD SETBACK	25 FT	19.3 FT	19.3 FT	YES
REAR YARD SETBACK	35 FT	50.9 FT	NO CHANGE	NO
SIDE YARD (ONE/BOTH)	6 FT/16 FT	4.9 FT/ 9.5 FT	4.9 FT/ 9.5 FT	YES
MAXIMUM LOT COVERAGE	27% (1,350 SQ.FT.)	25.6% (1,280 SQ.FT.)	25.6% (1,280 SQ.FT.)	NO
MAXIMUM BUILDING HEIGHT	2 STORIES/30 FT	1-1/2 STORIES/ 22.9 FT	1-1/2 STORIES/ 22.9 FT	NO



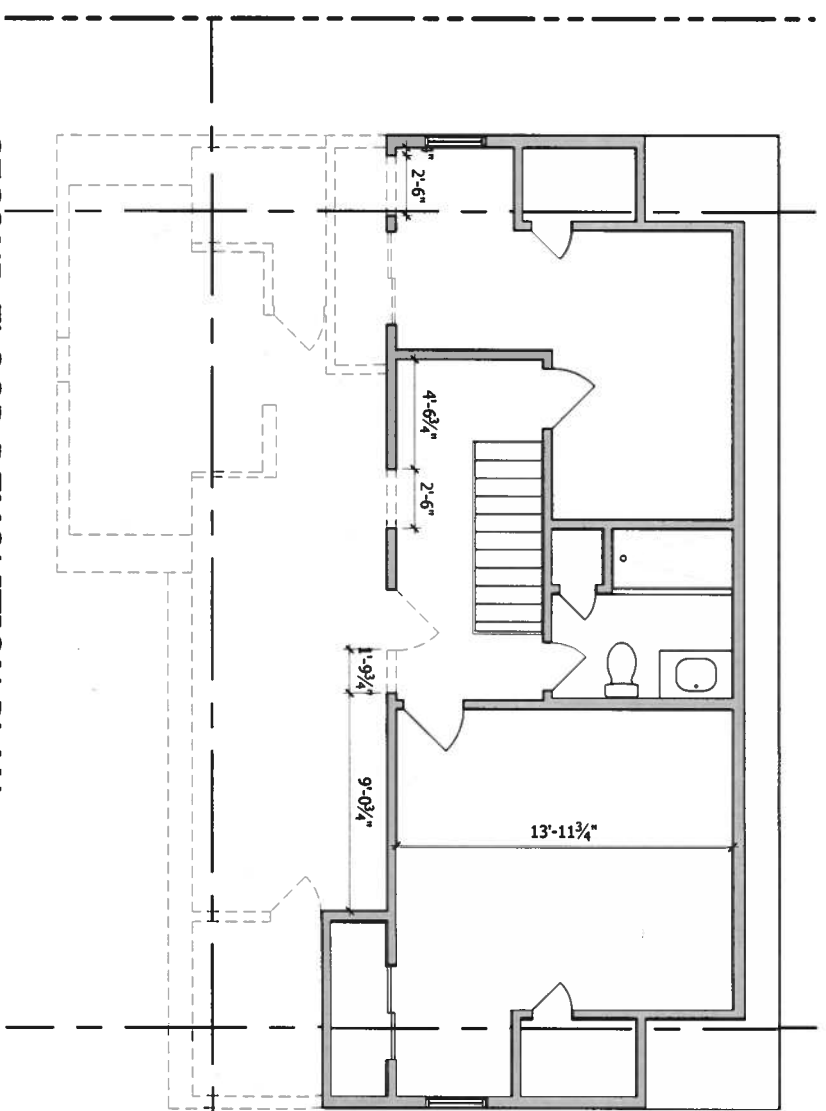
**II Architectural Services & Consulting, LLC**  
 385 Lakeview Avenue  
 Clifton, NJ 07011  
 info@iiaarchi.com  
 (201) 341-3324  
 iiaarchi.com

**PROPOSED SECOND FLOOR ADDITION**  
 21 HILLMAN ST, CLIFTON, NJ 07011  
 BLOCK: 11.08 LOT: 10

**Client:**  
 Mahmoud AlHajj  
 21 Hillman St.,  
 Clifton, NJ 07011  
 DATE: 07/20/2023

**TITLE SHEET**  
**T-01**

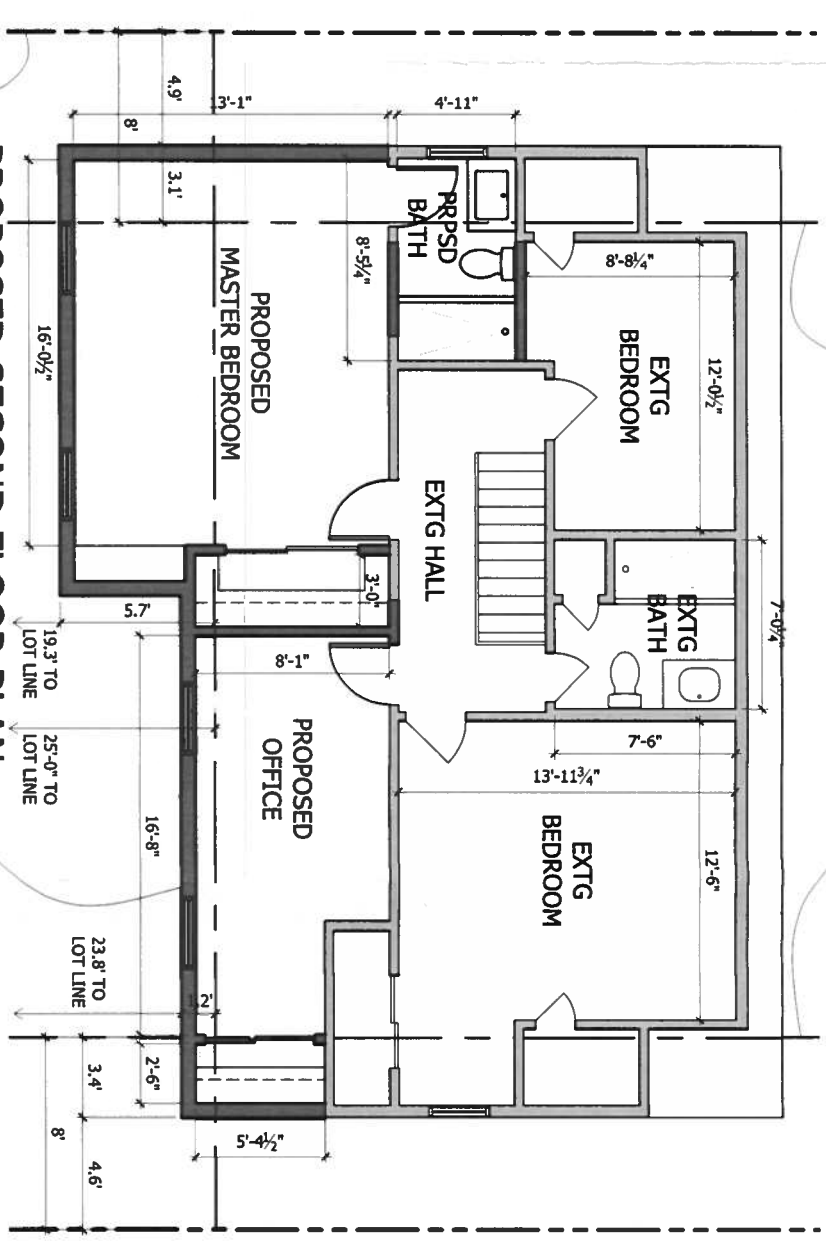
Ibrahim Issa, RA  
 NJ LIC: 21A102051000



**SECOND FLOOR DEMOLITION PLAN**

SCALE: 1/8" = 1'-0"

LOT LINES, TYPICAL

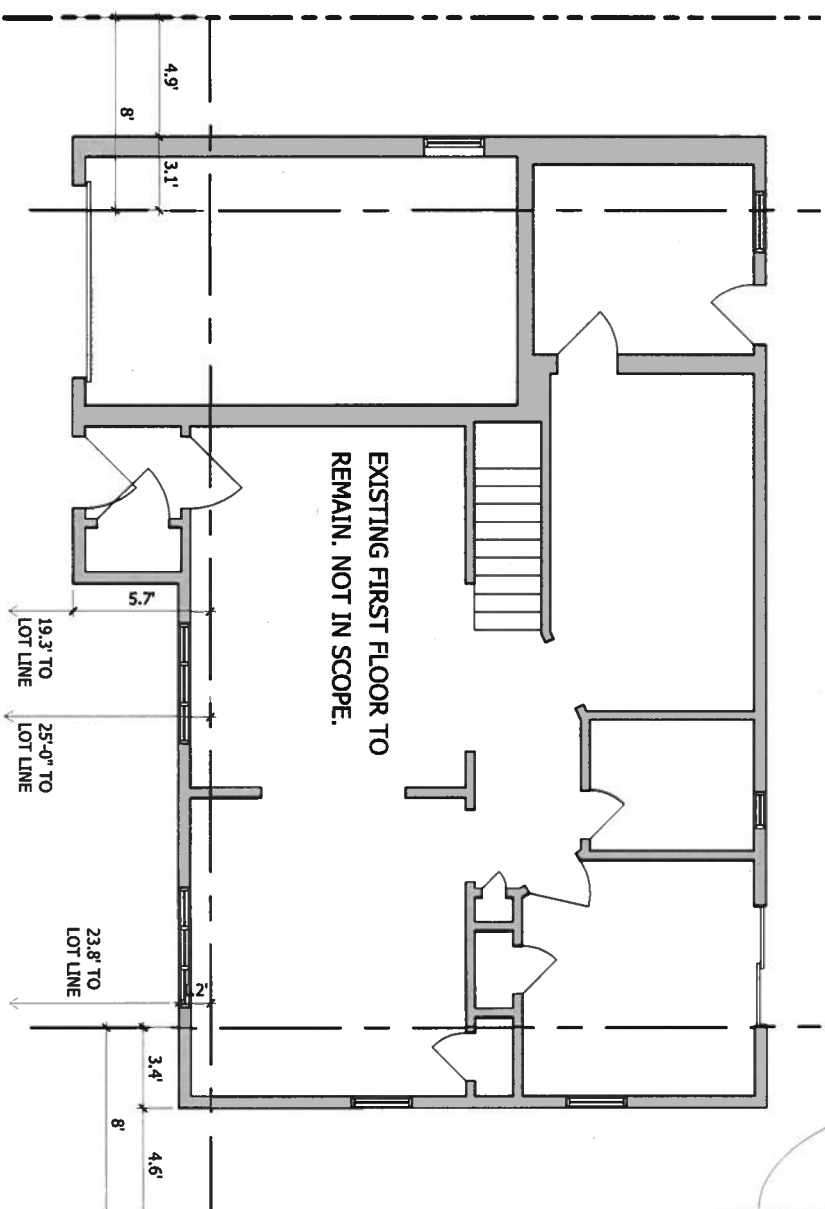


**PROPOSED SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

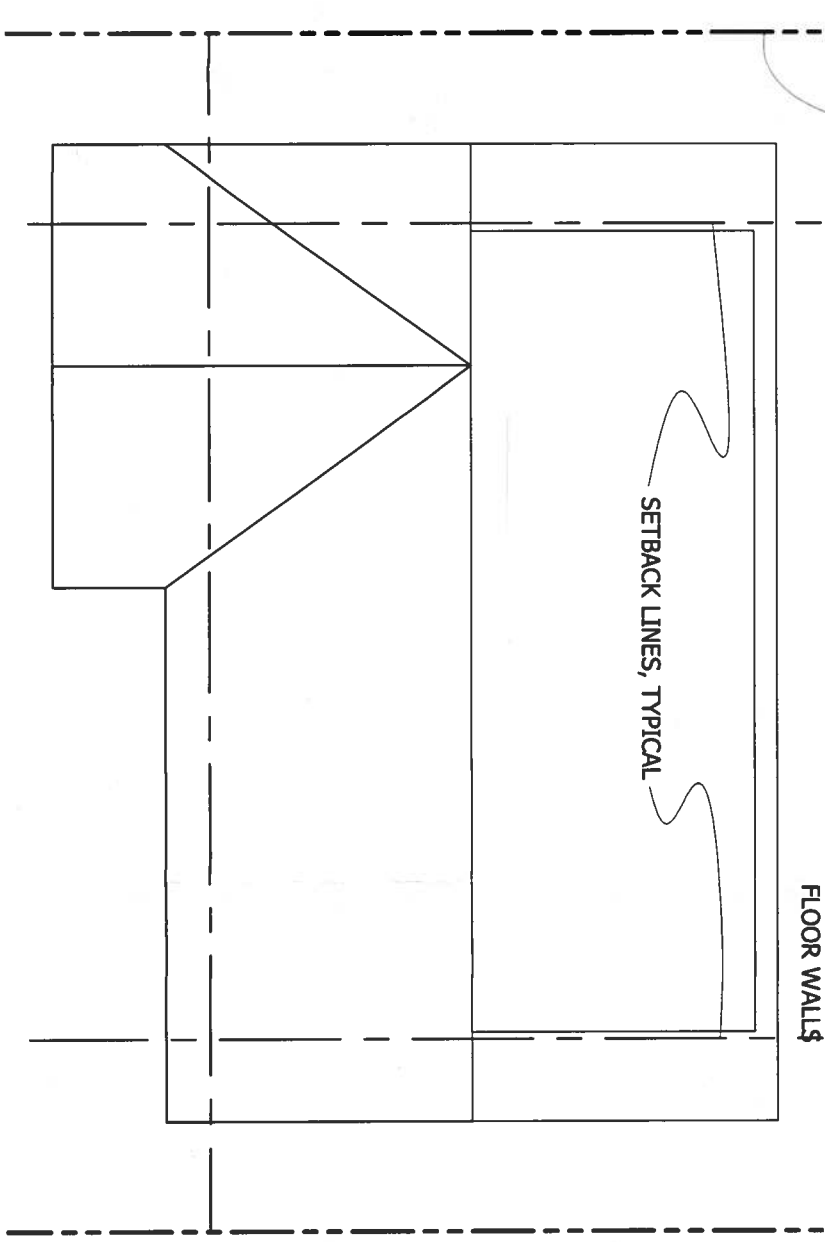
SETBACK LINES, TYPICAL

PROPOSED SECOND FLOOR  
ADDITION WALLS TO MATCH  
EXISTING TO REMAIN FIRST  
FLOOR WALLS



**EXISTING TO REMAIN FIRST FLOOR PLAN**

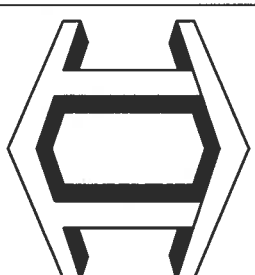
SCALE: 1/8" = 1'-0"



**PROPOSED ROOF PLAN**

SCALE: 1/8" = 1'-0"

SETBACK LINES, TYPICAL



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**PROPOSED SECOND  
FLOOR ADDITION**

21 HILLMAN ST, CLIFTON, NJ 07011  
BLOCK: 11.08 LOT: 10

**Client:**

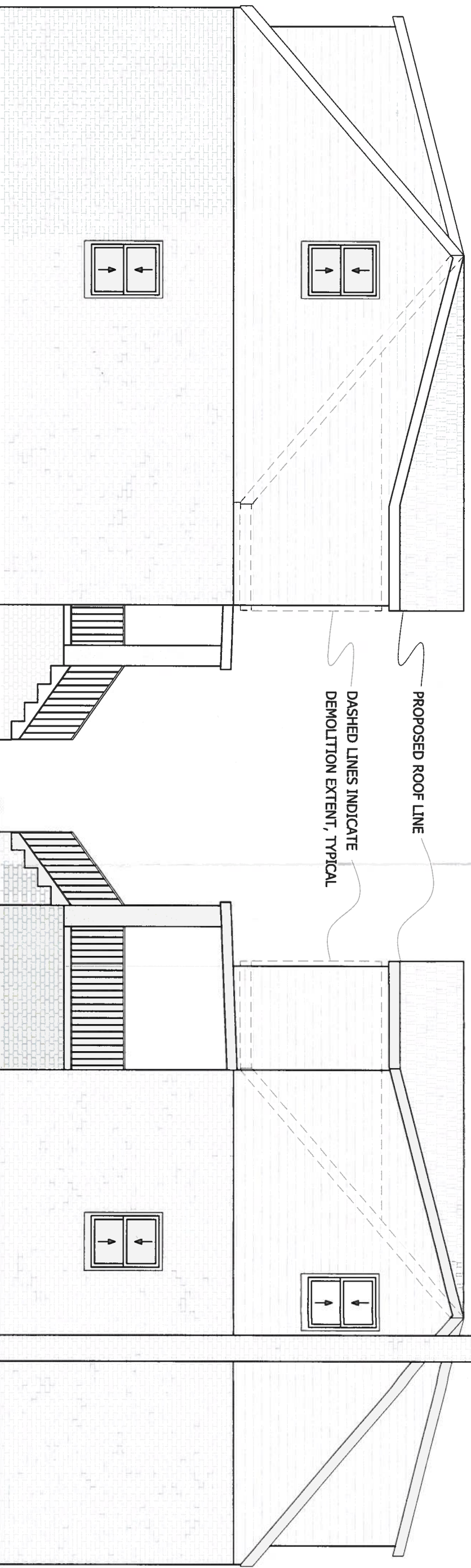
Mahmoud Alhaj  
21 Hillman St.,  
Clifton, NJ 07011

DATE: 07/20/2023

**PROPOSED  
PLANS**

**A-01**

Ibrahim Issa, RA  
NJ LIC: 21A102051000

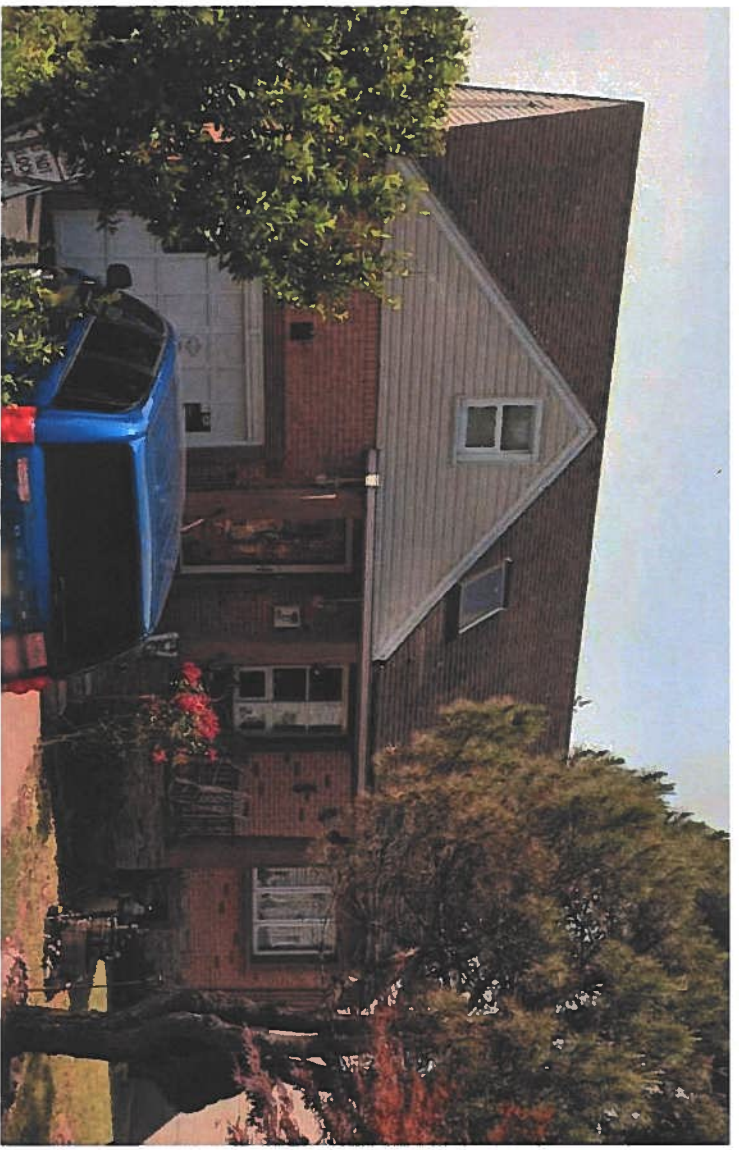


**LEFT ELEVATION**

SCALE: 1/8" = 1'-0"

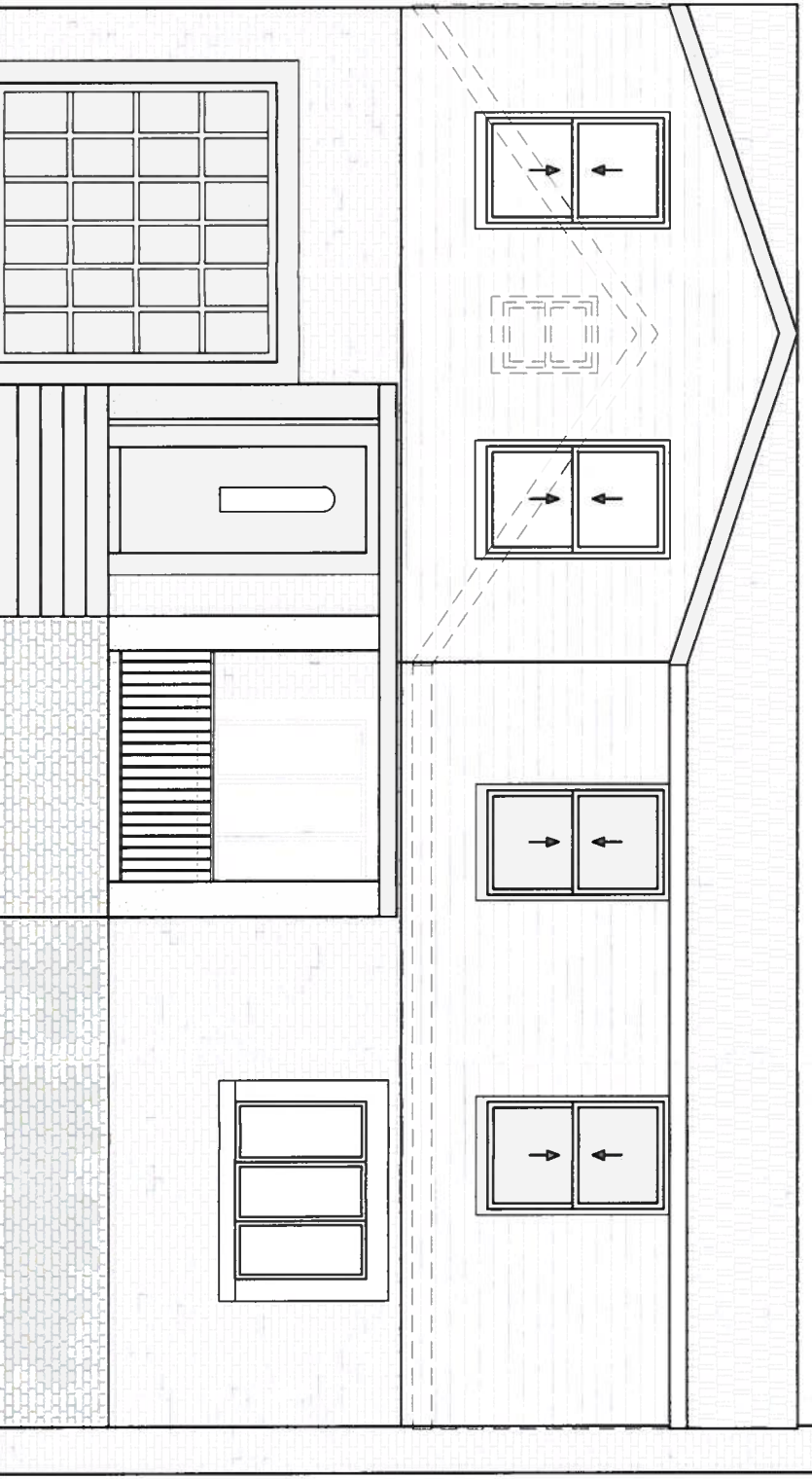
**RIGHT ELEVATION**

SCALE: 1/8" = 1'-0"



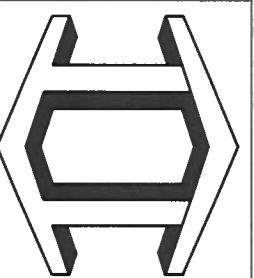
**EXISTING CONDITIONS**

N.T.S.



**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



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**PROPOSED SECOND FLOOR ADDITION**

21 HILLMAN ST, CLIFTON, NJ 07011  
 BLOCK: 11.08 LOT: 10

**Client:**  
 Mahmoud AlHajj  
 21 Hillman St.,  
 Clifton, NJ 07011

**DATE:** 07/20/2023

**ELEVATIONS**

**A-02**

Ibrahim Issa, RA  
 NJ LIC: 21A102051000