

DATE October 11, 2022

BOARD OF ADJUSTMENT

PLANNING BOARD

PROOF OF PAYMENT OF TAXES

Tax Collector

FEE Variance _____

Site Plan _____

Conditional use _____

Subdivision _____

**CITY OF CLIFTON
APPLICATION FOR DEVELOPMENT AND/OR APPEAL
TO BE COMPLETED BY THE APPLICANT**

Site Location 822 Passaic Avenue Block 81.01 Lot 6

1. Name of Applicant: Mark Lasky

Address: 330 West 72nd Street, Apt. 14C, New York, NY Telephone: 973-931-8747

Relation to Owner if not same as Owner: _____

2. Name of Owner (if other than Applicant): Lamping Maloughney, LLC

Address: 13 Alpine Drive, North Haledon, NJ Telephone: _____

3. The applicant is Corporation A Partnership Individual

Other (please specify): Contract Purchaser

If the applicant is a corporation or partnership, please attach a list of names and addresses of persons having a 10% interest or more in the corporation or partnership.

CORPORATIONS MUST BE REPRESENTED BY AN ATTORNEY-AT-LAW

4. Name of Architect or Engineer: Thomas E. Donohue, P.E., Donohue Engineering, LLC

Address: 210 Summit Avenue, Suite C3, Montvale, NJ Telephone: 201-444-6500

5. Name of Attorney: Frank A. Carlet, Esq.

Address: 1135 Clifton Avenue, Suite 104, Clifton, NJ 07013 Telephone: (973) 777-6200

6. Has this property been the subject of a hearing before the Board of Adjustment or Planning Board
 Yes No Disposition

7. Deed restrictions that apply or are contemplated: YES NO
(If yes, attach copy)

DESCRIPTION OF PREMISES

8. Corner Interior Zone District PD-HC Lot Size 4,151 sf

9. Lot Dimensions: Front 43.04' Rear 40' R. Side 100.05' L. Side 100'

BUILDING/OR STRUCTURE SETBACKS

10. Existing: Front _____ Rear _____ R. Side _____ L. Side _____ None. Lot is undeveloped.

11. Proposed: Front 45' Rear 5.0' R. Side 5.1' L. Side 8.1'

Present Use: Vacant Land

Proposed Use: Storage of Motor Vehicles

The Administrative Officer has declined to issue a permit and has made the following decision regarding the zone status of this application:

TYPE OF APPLICATION

- Site Plan
- Conditional Use
- "A" Variance
- "B" Variance
- "C" Variance
- "D" Variance (Use)

IMPORTANT: MUST BE ANSWERED BY ALL APPLICANTS:

Type(s) of Variance Requested and how relief can be granted without substantial detriment to Public good or Clifton's Zone Plan See Rider Attached.

OFFICE USE ONLY		
<input type="checkbox"/> BOARD OF ADJUSTMENT	<input type="checkbox"/> PLANNING BOARD	
Date of Hearing _____		
Board action required by _____ Date		
Application declared complete on _____ Date		
Final Decision Rendered on _____ Date		
APPROVED <input type="checkbox"/>	APPROVED WITH CONDITIONS <input type="checkbox"/>	DENIED <input type="checkbox"/>
WITHDRAWN OR DISMISSED <input type="checkbox"/>		
DEED RESTRICTION <input type="checkbox"/>		

Being duly sworn, says that he is the applicant or one of the applicants in the above action: that the application, if filed as an appeal from any order or decision of the Zoning Officer, has been filed within the time required by law, and that all of the matters and facts set forth in the foregoing application are true.

By: 
MARK LASKY APPLICANT

State of New Jersey

County of: Passaic

Sworn to and subscribed before me

this 6th day of October 20 22.


SIGNATURE OF OFFICER ADMINISTERING OATH (Notary)

FRANK A. CARLET

Attorney at Law
TITLE OF SUCH OFFICER
of the State of New Jersey

If the applicant is not the owner of the property, have the owner sign below consent or file with the application a letter signed by the owner consenting to the application.

The foregoing application is hereby consented to this _____ day of October 20 22.

Lamping Maloughney, LLC

By: _____

Owner
Arthur Moloughney, Managing Member

Sworn and subscribes before me

this _____ day of October 20 22.

SIGNATURE OF OFFICER ADMINISTERING OATH (Notary)

TITLE OF SUCH OFFICER

State of New Jersey


County of: _____

Being duly sworn, says that he is the applicant or one of the applicants in the above action: that the application, if filed as an appeal from any order or decision of the Zoning Officer, has been filed within the time required by law, and that all of the matters and facts set forth in the foregoing application are true.

By: 
MARK LASKY APPLICANT


State of New Jersey
County of: Passaic

Sworn to and subscribed before me
this 5th day of October 20 22.

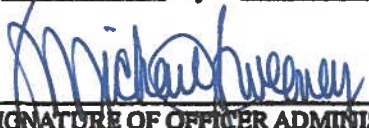

SIGNATURE OF OFFICER ADMINISTERING OATH (Notary)
FRANK A. CARLET
Attorney at Law
TITLE OF SUCH OFFICER
of the State of New Jersey

If the applicant is not the owner of the property, have the owner sign below consent or file with the application a letter signed by the owner consenting to the application.

The foregoing application is hereby consented to this 10th day of October 20 22.

Lamping Maloughney, LLC
By: 
Owner
Arthur Moloughney, Managing Member

Sworn and subscribes before me
this 10th day of October 20 22.


SIGNATURE OF OFFICER ADMINISTERING OATH (Notary)
MICHAEL J. SWEENEY
ATTORNEY AT LAW
STATE OF NEW JERSEY
TITLE OF SUCH OFFICER

State of New Jersey
County of: PASSAIC

RIDER
APPLICATION FOR DEVELOPMENT AND/OR APPEAL

MARK LASKY
822 Passaic Avenue
Block 81.01, Lot 6

This is an application to build a motor vehicle storage garage to house the applicant's collection of antique motor vehicles. It will not be open to the public at large but limited to invited guests to whom he may desire to show his collection. There will be absolutely no traffic or parties of any nature other than the coming and going of motor vehicles at limited times and no traffic generated whatsoever.

The application can be entered without any substantial detriment to the public good or Clifton's zone plan. It is bordered on one side by a gasoline station, to the rear by an industrial use and behind that a home improvement dealership and a major shopping center, to the left by a residential home which encroaches upon the property with its driveway and sidewalk.

This can be granted without any substantial detriment to the public good or Clifton's zone plan whatsoever. It is a use not permitted in the Zoning Ordinance. However, the proposed use meets the following purposes of the land use act a, e, g and l.